



NOTICE OF MEETING

Meeting: General Meeting

Date: Wednesday, 18TH June 2025

Location: Council Chambers,
Georgetown

Commencing: 9.00am

Councillors: Cr Hughes
Cr Royes
Cr Tincknell
Cr Ryan
Cr Carroll

Agenda Attached

Mark Watt
CHIEF EXECUTIVE OFFICER

Local Government Act Qld 2009

Section 4(2) of the *Local Government Act Qld 2009* state that the local government principles are:

- a) Transparent and effective processes, and decision-making in the public interest
- b) Sustainable development and management of assets and infrastructure, and delivery of effective services
- c) Democratic representation, social inclusion and meaningful community engagement
- d) Good governance of, and by, local government
- e) Ethical and legal behavior of councilors and local government employees

Local Government Regulation 2012

Section 254(J) Closed meetings:

- (1) A local government may resolve that all or part of a meeting of the local government be closed to the public.
- (2) A committee of a local government may resolve that all or part of a meeting of the committee be closed to the public.
- (3) However, a local government or a committee of a local government may make a resolution about a local government meeting under subsection (1) or (2) only if its Councillors or members consider it necessary to close the meeting to discuss one or more of the following matters –
 - a) The appointment, dismissal or discipline of a chief executive officer
 - b) Industrial matters affecting employees
 - c) The local government's budget
 - d) Rating concessions
 - e) Legal advice obtained by the Council or legal proceedings involving the local government including, for example, legal proceedings that may be taken by or against the local government
 - f) Matters that may directly affect the health and safety of an individual or group of individuals
 - g) Negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government
 - h) Negotiations relating to the taking of land by the local government under the *Acquisition of Land Act 1967*
 - i) A matter the local government is required to keep confidential under a law of, or formal arrangement with, the Commonwealth or a State
 - j) An investigation report given to the local government under chapter 5A, part 3, division 5 of the Act.
- (4) However, a local government or a committee of a local government must not resolve that a part of a local government meeting at which a decision mentioned in section 150ER(2), 150ES(3) or 150EU(2) of the Act will be considered, discussed, voted on or made to be closed.
- (5) A resolution that a local government meeting be closed must –
 - a) State the matter mentioned in subsection (3) that is to be discussed; and
 - b) Include an overview of what is to be discussed while the meeting is closed. meeting be closed must state the nature of the matters to be considered while the
 - c) meeting is closed.
- (6) A local government or a committee of a local government must not make a resolution (other than a procedural resolution) in a local government meeting, or a part of a local government meeting, that is closed.

OPEN SESSION AGENDA

1. OPENING OF THE MEETING AND SIGNING OF THE ATTENDANCE BOOK
2. PRAYER
3. APOLOGIES, CONDOLENCES AND CONGRATULATIONS
4. CONFIRMATION OF GENERAL MEETING MINUTES
5. CONFIRMATION OF SPECIAL MEETING MINUTES
6. CONSIDERATION OF BUSINESS ARISING FROM GENERAL MEETING MINUTES
7. CONSIDERATION OF CEO OPEN SESSION REPORTS
8. CONSIDERATION OF DCS OPEN SESSION REPORTS
9. CONSIDERATION OF DES OPEN SESSION REPORTS
10. CONSIDERATION OF CLOSED SESSION REPORTS
11. CONSIDERATION OF ADDENDUM REPORTS
12. CONSIDERATION OF GENERAL BUSINESS
13. CONCLUSION

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UNCONFIRMED MINUTES

GENERAL MEETING OF
ETHERIDGE SHIRE COUNCIL
HELD AT COUNCIL CHAMBERS, GEORGETOWN
ON WEDNESDAY, 21 MAY 2025
COMMENCING AT 9.00AM

**ETHERIDGE SHIRE COUNCIL
MINUTES OF THE GENERAL MEETING
HELD AT COUNCIL CHAMBERS, GEORGETOWN
ON WEDNESDAY, 21 MAY 2025**

ATTENDANCE

Cr. Barry Hughes
Cr. Ian Carroll
Cr. Laurell Royes
Cr. Seven Ryan
Cr. Ian Tincknell

OFFICERS PRESENT

Mr. Mark Watt, Chief Executive Officer
Mr. Raju Ranjit, Director of Engineering Services
Mrs. Renee Bester, Director of Corporate Services
Mrs. Jillian Anderson, Acting Executive Assistant

OPEN GALLERY

The Mayor declared the meeting open at 9:02am and welcomed all in attendance.

PRAYER

"We ask that today you give us wisdom to make good decisions to benefit our communities. Help us see what will benefit our shire and give us hearts to serve others. Amen".

APOLOGIES, CONDOLENCES AND CONGRATULATIONS

Condolences: Council wishes to extend their condolences to the family of staff members Karen Luck and Brayden Luck for the loss of their son and brother.

Congratulations: Gemma Bethel and Thomas Lawlor on the birth of Hollie-Mae born on the 18 of April 2025.

Apologies: Nil

DISCLOSURES AND DECLARATION OF CONFLICTS OF INTEREST

Cr Hughes declared a conflict of interest in the Addendum Item # 1.2 Request for Community Assistance Provided to Community Organisations as his wife is an office bearer on the Bush Races Committee.

Cr Ryan declared a prescribed conflict of interest in the Addendum Item # 1.2 Request for Community Assistance Provided to Community Organisations as she is the Secretary of the Georgetown State School P&C and the Secretary of the Georgetown Turf Club.

CONSIDERATION OF MINUTES

General Meeting Minutes – Wednesday 16 April 2025

CORRECTIONS

Item # 9. Washdown Bay Project Status and Additional Works original resolution was Lost and should not have had a resolution number assigned to it. Subsequent resolutions have been renumbered to reflect the error.

That the original resolution for Item # 7 RADF Advisory Committee Minutes be amended to reflect:
That Council:

1. Resolve to receive the unconfirmed minutes of the RADF Advisory Committee Meeting held 10 March 2025; and
2. Adopt the recommendations circulated to Councillors in the flying minute of the 8 April 2025 that excluded Councillors Ryan and Royes who were unable to participate due to undetermined declarable conflicts of interest.

RESOLUTION

That the Minutes of the General Council Meeting held at Georgetown on Wednesday 16 April 2025 be confirmed, as amended to reflect:

1. That the original resolution for Item # 9. Washdown Bay Project Status and Additional Works was Lost and should not have had a resolution number assigned to it. Subsequent resolutions have been renumbered to reflect the error.
2. That the original resolution for Item # 7 RADF Advisory Committee Minutes be amended to:
That Council:
 1. Resolve to receive the unconfirmed minutes of the RADF Advisory Committee Meeting held 10 March 2025; and
 2. Adopt the recommendations circulated to Councillors in the flying minute of the 8 April 2025 that excluded Councillors Ryan and Royes who were unable to participate due to undetermined declarable conflicts of interest.

MOVED: Cr. Tincknell

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.01
5/0

Special Meeting Minutes – Monday 28 April 2025

RESOLUTION

That the minutes of the Special Meeting held at Georgetown on Monday 28 April 2025 be confirmed as tabled.

MOVED: Cr. Carroll

SECONDED: Cr. Hughes

CARRIED
RESOLUTION #25.05.02
4/1

Cr Ryan voted in the negative.

BUSINESS ARISING FROM GENERAL MINUTES

Cr Royes requested that the new version of the business arising item be made public.

CONSIDERATION OF OPEN SESSION REPORTS

1. Mayor's Report

1.1 Mayor's Briefing Report

Pursuant to Standing Orders, the Mayor sought consideration of a report for the period.

RESOLUTION

That Council acknowledges and receives the Mayor's Briefing Report, as presented.

MOVED: Cr. Hughes

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.03
5/0

Meeting adjourned for a break at 10.09am and reconvened at 10.31am

2. Chief Executive Officer – Open Session Reports

2.1 Chief Executive Officer Briefing Report

RESOLUTION

That Council acknowledges and receives the Chief Executive Officer Briefing Report.

MOVED: Cr. Carroll

SECONDED: Cr. Hughes

CARRIED
RESOLUTION #25.05.04
3/2

Cr Ryan and Cr Royes voted in the negative

3. Director of Corporate Services – Open Session Reports

3.1 Director of Corporate Services Briefing Report

RESOLUTION

That Council acknowledges and receives the Director of Corporate Services Briefing Report.

MOVED: Cr. Ryan

SECONDED: Cr. Carroll

CARRIED
RESOLUTION #25.05.05
5/0

3.2 Financial Performance as at 30 April 2025

EXECUTIVE SUMMARY

In accordance with section 204 of the *Local Government Regulation 2012*, a monthly finance report is required to be presented to Council stating the progress made in relation to the budget for the period of the financial year as near as practicable to the end of the month before the meeting held.

RESOLUTION

That Council:

1. Receives the financial statements for the period ended 30 April 2025 pursuant to, and in accordance with, the section 204 of the *Local Government Regulation 2012*; and
2. Adopt the following changes to funding sources from LRCIP4 to:
 - Mt Surprise Remedial Street Drainage (R2R funding)
 - Electronic Noticeboards (Council funding)
 - Washdown Bay - Avdata System, Pump and Water Tank and Electrical Works) (R2R funding)

MOVED: Cr. Tincknell

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.06
5/0

Cr Tincknell left the meeting at 12.06pm and returned at 12.08pm.

3.3 RADF Advisory Committee Meeting Minutes – 22 April 2025

EXECUTIVE SUMMARY

Council's Regional Art's Development Fund (RADF) Advisory Committee Meeting was held 22 April 2025, in Georgetown. The minutes of this meeting are tabled for Council's review.

RESOLUTION

That Council:

1. Receive the unconfirmed minutes of the RADF Advisory Committee Meeting held 22 April 2025;
2. Adopt the RADF Advisory Committee recommendation of rolling the remaining funds of \$4,650.00 to the next financial years funding; and
3. Advertise the Community Funding Program Round 1, for the FY25/26 open on the 26th May 2025 and close on the 30th June 2025.

MOVED: Cr. Tincknell

SECONDED: Cr. Ryan

CARRIED
RESOLUTION #25.05.07
5/0

3.4 Biosecurity Advisory Committee Minutes

EXECUTIVE SUMMARY

Council's Biosecurity Advisory Committee Meeting met on 7 May 2025 and the unconfirmed meeting minutes are tabled for Councils receipt.

RESOLUTION

That Council:

1. Receive the unconfirmed Biosecurity Advisory Committee minutes; and
2. Adopt the Biosecurity Advisory Committee's recommendation that the contaminated gravel stockpile, known as the second gravel stockpile near the old dump at Forsayth (-18.580450 S, 143.589355 E), be used only on the Forsayth-Georgetown Road and is required to be sealed. If the gravel is unusable, it is to be classified as contaminated.

MOVED: Cr. Ryan

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.08
5/0

Mark Watt left the meeting at 12.50pm and returned at 12.51pm

Meeting adjourned for a break at 12.58pm and reconvened at 1.39pm

3. Director of Engineering Services – Open Session Reports

4.1 Director of Engineering Services Briefing Report

RESOLUTION

That Council acknowledges and receives the Director of Engineering Services Briefing Report.

MOVED: Cr. Ryan

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.09
5/0

4.2 Eveleigh Road Update

EXECUTIVE SUMMARY

This report relates to exploring options to improve the quality of road materials on Eveleigh Road.

RESOLUTION

That Council:

1. Acknowledges and receives the Eveleigh Road Update;
2. Prepare cost estimate for options for heavy formation grading of Eveleigh Road for further advice to Council;
3. Include in Council's proposed DRFA Scope of Works the future process of gravel extraction including gravel testing.

MOVED: Cr. Tincknell

SECONDED: Cr. Ryan

CARRIED
RESOLUTION #25.05.10
5/0

4.3 Gravel Extraction from the Agate Creek Fossicking Area – Ortona Road

EXECUTIVE SUMMARY

This report relates to the investigation of gravel extraction from the Agate Creek Fossicking Area for the flood restoration works on the Ortona Road.

RESOLUTION

That Council receives the Gravel Extraction from the Agate Creek Fossicking Area – Ortona Road report.

MOVED: Cr. Royes

SECONDED: Cr. Ryan

LOST
0/5

5 Consideration of Open Session Addendum

5.1 Realignment and Replacement of a Section of Einasleigh Common Boundary Fence

EXECUTIVE SUMMARY

Consideration of a request from an adjoining landowner to the Einasleigh Common, requesting a realignment of the existing fence and requesting a contribution of the proposed fencing costs.

RESOLUTION

That Council:

1. Resolve to allow the realignment of the boundary fence while not on the lot/plan boundary as per the landholders preferred fence route.
2. Despite the requirements of the *Stock Route Management Act 2002*, Council resolve to contribute to fencing materials to the value of \$3,468.19.

MOVED: Cr. Royes

SECONDED: Cr. Tincknell

CARRIED
RESOLUTION #25.05.11
5/0

5.2 Request for Community Assistance Provided to Community Organisations

EXECUTIVE SUMMARY

Council called applications under its three (3) Community Assistance Policies for events being held 1 July 2025 through to 30 June 2026.

Cr Ryan left the meeting at 3.02pm and returned at 3.11pm.

Cr Ryan declared a prescribed conflict of interest in the Addendum Item 1.2 Request for Community Assistance Provided to Community Organisations as she is the Secretary of the Georgetown State School P&C and the Secretary of the Georgetown Turf Club.

Cr Hughes declared a prescribed conflict of interest in the Addendum Item 1.2 Request for Community Assistance Provided to Community Organisations as his wife is an office bearer on the Bush Races Committee.

Cr Tincknell declared a prescribed conflict of interest in the Addendum Item 1.2 Request for Community Assistance Provided to Community Organisations as his wife is the president of the CWA.

MOTION

That Council suspend Standing Orders at 3.11pm.

MOVED: Cr. Royes

SECONDED: Cr. Carroll

CARRIED
RESOLUTION #25.05.12
5/0

MOTION

That Council resume Standing Orders at 3.23pm.

MOVED: Cr. Carroll

SECONDED: Cr. Royes

CARRIED
RESOLUTION #25.05.13
5/0

RESOLUTION

That Council:

1. Pursuant to section 14a (Lack of Quorum) of the Etheridge Shire Council's Standing Orders; and
2. Pursuant to section 257(1)(b) of the *Local Government Act 2009*, Council delegate its power to the CEO to decide the following:

UNCONFIRMED MINUTES – GENERAL MEETING 21 MAY 2025

- 2.1 Grant & Sponsorship assistance in accordance with policy ESC-C047 Grants to Community Organisations and ESC-049 Sponsorship to Community Organisations; and
- 2.2 In-kind assistance in accordance with policy ESC-C050 – In Kind Support to Community Organisations.

MOVED: Cr. Tincknell

SECONDED: Cr. Carroll

CARRIED
RESOLUTION #25.05.14
5/0

Meeting adjourned at 3.33pm and reconvened at 3.44pm

6. General Business

Councillor	Description
Cr. Carroll	Does Council have a Use of Drone Policy for Council employees?
Cr. Carroll	Heavy vehicle wash down bay elevated platform
Cr. Carroll	Independent living viewing
Cr. Carroll	Forsyth transfer station use and feedback
Cr. Ryan	Einasleigh - Genex/ Kidston Hydro/ Windfarm community meeting. Council MUST stop dithering about Road User Agreements and get some real action with \$5-10M proposed to be spent on temporary upgrades by Genex between 26/27 to the Einasleigh-Lynd for the turbines Council should be using R2R / TIDS funding to make the passing and stopping bays, and call points permanent.
Cr. Ryan	Einasleigh Water Security - update on securing water licence and releases.
Cr. Ryan	Georgetown Dump - no remedial work has been undertaken after being raised at April meeting about the absolute disgrace and biosecurity risk under the current management regime.

7. Conclusion

There being no further business the Mayor declared the meeting closed at 5.02pm. These minutes will be confirmed by Council at the General Meeting held on Wednesday 18 June 2025.

Cr. Barry Hughes
MAYOR



UNCONFIRMED MINUTES

SPECIAL MEETING OF
ETHERIDGE SHIRE COUNCIL
HELD AT COUNCIL CHAMBERS, GEORGETOWN
ON THURSDAY, 29 MAY 2025
COMMENCING AT 9.00AM

**ETHERIDGE SHIRE COUNCIL
MINUTES OF THE SPECIAL MEETING
HELD AT COUNCIL CHAMBERS, GEORGETOWN
ON THURSDAY, 29 MAY 2025**

ATTENDANCE

Cr. Barry Hughes
Cr. Ian Carroll
Cr. Laurell Royes
Cr. Seven Ryan
Cr. Ian Tincknell

OFFICERS PRESENT

Mr. Mark Watt, Chief Executive Officer
Mr. Raju Ranjit, Director of Engineering Services
Mrs. Renee Bester, Director of Corporate Services

The Mayor declared the meeting open at 9.03am and welcomed all in attendance.

PRAYER

“We ask that today you give us wisdom to make good decisions to benefit our communities. Help us see what will benefit our shire and give us hearts to serve others. Amen”.

DECLARATION OF CONFLICTS OF INTEREST

Nil

APOLOGIES, CONDOLENCES AND CONGRATULATIONS

Nil

CONSIDERATION OF OPEN SESSION REPORTS

1. Annual Valuation Effective 30 June 2026

EXECUTIVE SUMMARY

Council has received correspondence from the Valuer General, Department of Natural Resources and Mines seeking Council's views in relation to the revaluation of the local government area as part of the 2026 revaluation program that will take effect on 30 June 2026. Consistent with the *Land Valuation Act 2010*, Council is required to advise of their support or otherwise for a revaluation in 2026.

RESOLUTION

That Council formally receive the correspondence for the Annual Valuation Project to be undertaken by the Department of Natural Resources and Mines effective 30 June 2026 and advise the Valuer-General that Council has no objections to the project.

MOVED: Cr. Tincknell

SECONDED: Cr. Carroll

**LOST
2/3**

Crs Ryan, Carroll & Tincknell recorded their vote against the above motion.

RESOLUTION

Pursuant to section 254H of the *Local Government Act 2009*, Council record its decision against the recommendation and advise the Valuer-General, Department of Natural Resources and Mines that Council objects to the valuation scheduled for 30 June 2026. The reason for the objection to the valuation is due to Council still considering the implications of the most recent valuations and untimeliness of objections for valuations as at 30 June 2024.

MOVED: Cr. Ryan

SECONDED: Cr. Carroll

**CARRIED
RESOLUTION #SP25.05.01
5/0**

CONSIDERATION OF CLOSED SESSION REPORTS**RESOLUTION**

Pursuant to section 254J(3) of the *Local Government Regulation 2012*, Council close the meeting at 9.27am to discuss (g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government including Tender ESC2025-007 Drainage Structures.

MOVED: Cr. Royes**SECONDED:** Cr. Ryan

CARRIED
RESOLUTION #SP25.05.02
5/0

RESOLUTION

That Council re-open the meeting at 9.47am.

MOVED: Cr. Royes**SECONDED:** Cr. Carroll

CARRIED
RESOLUTION #SP25.05.03
5/0

2. ESC2025-007 – Drainage Structures – CN-22813 Gulf Development Road Widening and Drainage Project
EXECUTIVE SUMMARY

This report relates to the purchase of pipes and culverts for TMR Contract CN-22813 92C Gulf Development Road reconstruction and widening project.

RESOLUTION

That pursuant to section 234(1) of the *Local Government Regulation 2012*, Council enter into a contract under an LGA arrangement with Civilmart Rocla for the purchase of Culverts and Pipes to the value of \$482,308.48 (Incl GST).

MOVED: Cr. Tincknell**SECONDED:** Cr. Carroll**PROCEDURAL MOTION**

That the above matter lay on the table to re-enter closed session to further consider quotations.

MOVED: Cr. Ryan

CARRIED
RESOLUTION #SP25.05.04
5/0

RESOLUTION

Pursuant to section 254J(3) of the *Local Government Regulation 2012*, Council close the meeting at 10.00am to discuss (g) negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government including Tender ESC2025-007 Drainage Structures.

MOVED: Cr. Ryan**SECONDED:** Cr. Hughes

CARRIED
RESOLUTION #SP25.05.05
5/0

RESOLUTION

That Council re-open the meeting at 10.30am.

MOVED: Cr. Royes**SECONDED:** Cr. Ryan

CARRIED
RESOLUTION #SP25.05.06
5/0

PROCEDURAL MOTION

That the following matter lay on the table for consideration at the next General Meeting:

- ESC2025-007 Drainage Structures CN-22813 Gulf Development Road Widening and Drainage Project

MOVED: Cr. Hughes

CARRIED
RESOLUTION #SP25.05.07
5/0

<i>CONCLUSION</i>

There being no further business the Mayor declared the meeting closed at 10.31 am. These minutes will be confirmed by Council at the General Meeting held on Wednesday, 18th June 2025.

Cr. Barry Hughes
MAYOR

Business Arising						
#	Item	Resolution	Officer	Action Taken	Progress	Completed Date
29th May 2025 - Special Meeting						
SP25.05.01	Annual Valuation Effective 30 June 2026	Pursuant to section 254H of the <i>Local Government Act 2009</i> , Council record its decision against the recommendation and advise the Valuer-General, Department of Natural Resources and Mines that Council objects to the valuation scheduled for 30 June 2026. The reason for the objection to the valuation is due to Council still considering the implications of the most recent valuations and untimeliness of objections for valuations as at 30 June 2024.	CEO	Department advised 29 May	Complete	Jun-25
SP25.05.07	2. ESC2025-007 - Drainage Structures - CN-22813 Gulf Development Road Widening and Drainage Project	That the following matter lay on the table for consideration at the next General Meeting: -ESC2025-007 Drainage Structures CN-22813 Gulf Development Road Widening and Drainage Project	DES	Meeting Report to be presented in June Meeting	Complete	Jun-25
21st May 2025 - General Meeting						
25.05.01	Consideration of Minutes - General Meeting Minutes - Wednesday 16 April 2025	That the Minutes of the General Council Meeting held at Georgetown on Wednesday 16 April 2025 be confirmed, as amended to reflect: 1. That the original resolution for Item # 9. Washdown Bay Project Status and Additional Works was Lost and should not have had a resolution number assigned to it. Subsequent resolutions have been renumbered to reflect the error. 2. That the original resolution for Item # 7 RADF Advisory Committee Minutes be amended to: That Council: 1. Resolve to receive the unconfirmed minutes of the RADF Advisory Committee Meeting held 10 March 2025; and 2. Adopt the recommendations circulated to Councillors in the flying minute of the 8 April 2025 that excluded Councillors Ryan and Royes who were unable to participate due to undetermined declarable conflicts of interest.	EA	Amended minutes reflecting corrections identified at the meeting uploaded to website	Complete	May-25
25.05.02	Consideration of Minutes - Special Meeting Minutes – Monday 28 April 2025	That the minutes of the Special Meeting held at Georgetown on Monday 28 April 2025 be confirmed as tabled.	EA	Minutes published on website	Complete	May-25
25.05.06	3.2 Financial Performance as at 30 April 2025	That Council: 1. Receives the financial statements for the period ended 30 April 2025 pursuant to, and in accordance with, the Local Government Regulation 2012 (s204); and 2. Adopt the following changes to funding sources from LRCIP4 to: • Mt Surprise Remedial Street Drainage (R2R funding) • Electronic Noticeboards (Council funding) • Washdown Bay - Avdata System, Pump and Water Tank and Electrical Works) (R2R funding)	DCS	Funding source changes amended in WIP	Complete	May-25
25.05.07	3.3 RADF Advisory Committee Meeting Minutes - 22 April 2025	That Council: 1. Receive the unconfirmed minutes of the RADF Advisory Committee Meeting held 22 April 2025; 2. Adopt the RADF Advisory Committee recommendation of rolling the remaining funds of \$4,650 to the next financial years funding; and 3. Advertise the Community Funding Program Round 1, for the FY25/26 open on the 26th May 2025 and close on the 30th June 2025.	DCS	Agenda & minutes available in Councillor Dropbox. Budget review submitted to Arts Qld. Community Funding Program Round 1 advertised	Complete	May-25
25.05.08	3.4 Biosecurity Advisory Committee Minutes	That Council: 1. Receive the unconfirmed Biosecurity Advisory Committee minutes; and 2. Adopt the Biosecurity Advisory Committee's recommendation that the contaminated gravel stockpile, known as the second gravel stockpile near the old dump at Forsayth (-18.580450 S, 143.589355 E), be used only on the Forsayth-Georgetown Road and is required to be sealed. If the gravel is unusable, it is to be classified as contaminated.	DCS	DES comment - That gravel can not be used on the Forsayth - Georgetown Road because the the works on the Forsayth Einasleigh Road needs only 2.3 class gravel.	Complete	May-25
25.05.10	4.2 Eveleigh Road Update	That Council: 1. Acknowledges and receives the Eveleigh Road Update; 2. Prepare cost estimate for options for heavy formation grading of Eveleigh Road for further advice to Council; 3. Include in Council's proposed DRFA Scope of Works the future process of gravel extraction including gravel testing.	DES	Bore log test in progress		
25.05.11	5.1 Realignment and Replacement of a Section of Einasleigh Common Boundary Fence	That Council: 1. Resolve to allow the realignment of the boundary fence while not on the lot/plan boundary as per the landholders preferred fence route. 2. Despite the requirements of the Stock Route Management Act 2002, Council resolve to contribute to fencing materials to the value of \$3,468.19.	DCS	Advised landholders that realignment has been approved. PO raised for materials.	Complete	May-25
25.05.14	5.2 Request for Community Assistance Provided to Community Organisations	That Council: 1. Pursuant to section 14a (Lack of Quorum) of the Etheridge Shire Council's Standing Orders; and 2. Pursuant to section 257(1) (b) of the Local Government Act 2009, Council delegate its power to the CEO to decide the following: 2.1 Grant & Sponsorship assistance in accordance with policy ESC-C047 Grants to Community Organisations and ESC-049 Sponsorship to Community Organisations; and 2.2 In-kind assistance in accordance with policy ESC-C050 – In Kind Support to Community Organisations.	CEO		Complete	May-25
28th April 2025 - Special Meeting						
SP25.04.03	Business Arising	That Council immediately amend the Unconfirmed December Minutes as per the resolution in January to include the following amendments: - Item #11 be recorded as procedural motion moved by Cr Royes and voted upon. - Item #11 should be resolution 24.12.20.	CEO	Amended minutes reflecting corrections identified at the meeting uploaded to website	Complete	May-25

SP25.04.06	Motion Without Notice	That Council investigate an alternate DRFA Management structure pursuant to the strategic intent of Council's discussion on 26th February 2025.	CEO		In progress	
SP25.04.07	Motion Without Notice	Considering Council's alternative DRFA management strategic intent, tenders be called for Emergent Supervision, Damage Assessment and Project Management to cover the North and Far North Tropical Low – commencing 29 January 2025 and the Western Queensland Surface Trough & Associated Rainfall & Flooding – commencing 21 March 2025.	DES	Tendered out .	Complete	May-25
16th April 2025 - General Meeting						
25.04.02	Consideration of Minutes - General Meeting Minutes – Wednesday 19th March 2025	That the Minutes of the General Council Meeting held at Georgetown on Wednesday 19th March 2025 be confirmed, as amended. Corrections: #25.03.01 – Amend mover of motion to Cr Tinncknell. #25.03.06 – Include approval limit for CEO of \$15,000.00 to Ex-gratia Payment Policy.	EA	Amended minutes reflecting corrections identified at the meeting uploaded to website	Complete	May-25
25.04.04	1. Mayor's Briefing Report	That Council accept the transfer of funds \$65,000.00 from The Gulf Cattleman's Association Inc. to be placed into the Trust Account and to be utilized in partnership with Etheridge Shire Council to create a bronze statue commemorating and recognising the cattleman's contribution to the grazing industry across Queensland's Gulf Savannah Region.	CEO		In progress	
25.04.06	3. FY 24/25 Operational Plan – 3rd Quarter Review	That pursuant to section 174(3) of the <i>Local Government Regulation 2012</i> , Council receive the third quarterly progress report on Council's progress towards implementing its Operational Plan 2024/25.	CEO		Complete	
19th March 2025 - General Meeting						
25.03.08	7. Eveleigh Road Condition	That Council receive the report on the condition of the Eveleigh Road, as presented with the following actions to be taken: 1. Communications with QRA including a. Advice regarding gravel selection and testing b. In the instance of unsuitable material who is responsible for enforcement for quality assurance purposes 2. Communications with the project manager including a. Failure to report incidents in workplace to Council b. Outline role in compliance and quality assurance 3. A further report including findings with consideration of degradation to Council assets to be reported back to Council	DES	Under investigation	In progress	
18th December 2024 - General Meeting						
24.12.19	14. Flood Damaged Roads Restoration Zone 5	That Council request the CEO to seek governance advice on Council organisational issues impacting on Council's performance.	CEO	Governance advice being obtained with further updates to follow.	In progress	
24.12.20	11. Road Register Review	Council resolved that the Road Register be given priority for review prior to considering tenders for the up-coming flood damage pick up.	CEO	Road register review underway, with further workshop to occur followed by Council report	In progress	
20th November 2024 - General Meeting						
24.11.10	9. Einasleigh and Mt Surprise Town Maintenance – Tender Document and Scope of Works	That Council receives reports and accepts the tender documents and scope of works, as amended.	DES	Draft Service Level reports being prepared under new format and will be presented to Council in draft form.	In progress	
14th August 2024 - General Meeting						
24.08.07	5. Review of Drug & Alcohol Policy	That Council resolve to defer the matter of the Drug and Alcohol Policy (A012) to a future meeting/workshop.	CEO	Further review pending commencement of WHSA.	In progress	

GENERAL MEETING: June 2025

Mayor and Councillors
Etheridge Shire Council
PO Box 12
Georgetown QLD 4871

Councillors,

I present my report for the period of: May 2025

Update

Welcome to the June 2025 CEO Briefing Report.

The reporting period included various ROC meetings and other beneficial activities such as the budget community consultation.

Operational Plan Matters

Operational Plan 2024–2025

- Work continuing on implementation of the Operational Plan 2024-2025.
- The build and set-up of the new agenda software system has paused owing to staff movements. Councillors are advised that End User Training will be delayed until the build of the agenda system is completed.

Work Health & Safety

- WHSA yet to be re-advertised.
- The relief WHSA is undertaking the role to a high standard. Please see the Matters of Interest report from the WHSA.

Projects

I am currently working on the following projects and below is an update for the reporting period:

Etheridge Agricultural Precinct

- Funding provided under the Regional Economic Futures Fund (REFF) by the Department of Primary Industries (DPI).
- No response to letter sent to Adam West, Regional Director, DPI, seeking variation to change the name of the project to NW33 - Etheridge Shire Council Agricultural Precinct Development – North West Queensland.
- Ongoing meetings with Greg Mason, DPI.
- Recruitment process completed with the preferred candidate being offered the role and assuming it is accepted, commencement from 1 July.
- Pending discussions with RDA Tropical North regarding their involvement in the project.

Tourism Master Plan – Griffith University

Growing Regions Program – Developing Tourism Along the Savannah Way (Aust. Government)

- Milestone #1 payment received.
- Griffith University undertaking project management – See separate briefing report #03

North West Queensland Economic Diversification Strategy – Tourism Signage

- Grant application approved and funding agreement signed awaiting execution and milestone payment
- See also Griffith University briefing report #03.

NWQROC - North Queensland Resilience Program

Update on the Queensland Reconstruction Authority (QRA) and the Australian Government North Queensland Resilience Program (NQRP) projects as follows:

ESC.0051 - Combined SES Operations & Training Centre

- Griffith University has now submitted an application to the Disaster Ready Fund - Round Three 2025-2026 to support NQRP funding.

ESC.0052 – Upgrade Water Assets (Safety Valves Forsayth)

- Project being managed by the Director of Engineering Services (DES).
- Ongoing updates included in DES Briefing Report.

ESC.0053 – Provide back-up power to critical water infrastructure

- Project being managed by the Director of Engineering Services (DES).
- Ongoing updates included in DES Briefing Report.

ESC.0054 – Replace fence & fence gates (Mt Surprise & Einasleigh airstrips)

- Project being managed by the Director of Engineering Services (DES).
- Ongoing updates included in DES Briefing Report.

ESC.0055 – Construct 6 x two-bedroom independent living facility

- Further report to be presented to Council to consider financing loan options.

Milestone #1 Payments of thirty percent (30%) have been paid. The above projects will be included in Council's Grants Register.

Kidston Hydro & Solar Farm Project

Ongoing discussions regarding a road use agreement (RUD) in conjunction with the Director of Engineering Services and the Mayor.

Attendance of Events

A list of attendance during the reporting period for Council's information is as follows:

Date	Event	Location
1 May	ELT Meeting	Georgetown
6 May	Travel - NWQROC	Travel
7-8 May	NWQROC Face-to-face	Mount Isa
9 May	Travel - NWQROC	Travel
13 May	Meeting with Chris Godfrey, Savannah Goldfields	Georgetown
13 May	Andrew Cripps, North Queensland Disaster Coordinator	Georgetown
13 May	DDMG Meeting – Mareeba Group	Teams
14 May	Community Connect & Councillor Workshop	Oak Park
15 May	Meeting with Department of Primary Industries – Gravel sale permits and Endorsed Quarry Areas (EQAs)	Georgetown
15 May	Meeting with Hutchinson Builders & Griffith Uni	Georgetown
19 May	LGAQ Governance Training – Alison Smith & Kim Driver	Georgetown
20 May	Meeting with Tammy Parry, State Development	Georgetown
20 May	Meeting with GSD, TTNQ & Advance Cairns	Georgetown
21 May	General Meeting	Georgetown
22 May	Budget Workshop #2	Georgetown

Date	Event	Location
27 May	Community Budget Sessions (Einasleigh, Mt Surprise & Forsayth)	Various
28 May	Budget Workshop #3	Georgetown
28 May	Community Budget Sessions (Georgetown)	
29 May	Budget Workshop #4 & Special Meeting	Georgetown
30 May	ELT Meeting	Georgetown

Upcoming Events

A list of upcoming events for the next reporting period for Council's information is as follows:

Date	Event	Location
3 June	Councillor update training delivered by Department of Local Government, Water and Volunteers	Georgetown
3 June	Meeting with RACQ Foundation	Georgetown
4 June	Travel - FNQROC	Travel
5 June	FNQROC RRTG & Face-to-face Board Meeting	Mareeba
5 June	Meeting with Ewamian People Aboriginal Corp	Mareeba
6 June	Travel – FNQROC	Travel
10 June	Meeting with Bronwyn Dwyer, Gulf Water Plan	Georgetown
11 June	Gulf Water Plan, Department of Local Government, Water & Volunteers	Georgetown
11 June	Budget Workshop #5	Georgetown
18 June	General Meeting	Georgetown
23-26 June	BDO Australia – External Audit Week	Georgetown
27 June	Road & Transport Forum	Cairns

Mark Watt
CHIEF EXECUTIVE OFFICER

General Meeting	18 June 2025
Subject	Etheridge Shire Planning Scheme Amendment
Classification	Open
Author	Mark Watt, Chief Executive Officer

EXECUTIVE SUMMARY

Update to Council on the progress and public notification requirements of the amendment to Council's Planning Scheme.

RECOMMENDATION

That Council note the contents of the report on the Planning Scheme Amendment and the required public notification.

BACKGROUND

At the General Meeting on 13 December 2023 Council resolved to progress an approval process for a planning scheme amendment to advance the development of industrial land on the western side of Georgetown. The proposed Georgetown Industrial Estate consists of 198 lots comprising of various sizes contained in a concept plan attached to this report. The total area of the industrial estate is 234 hectares and the total frontage to the Gulf Development Road is approximately 2,100 metres.

The Queensland Department of State Development, Infrastructure and Planning have approved the proposed amendment to the *Etheridge Shire Planning Scheme 2020* under section 18 of the *Planning Act 2016*.

A process must now be followed to make the amendment as well as public consultation pursuant to the Planning Act and Minister's Guidelines and Rules.

Public consultation is required to comprise the following:

- At least one public notice about the proposal to amend the planning scheme.
- Maintaining the proposed planning scheme amendment available for inspection and purchase for the duration of the consultation period at Council offices and other public locations for a period of at least 20 business days after the date of the public notice.
- In accordance with the *Planning Act 2016*, the Public Notice must be undertaken in a way the local government considers is likely to bring the notice to the attention of persons likely interested in or affected.

Methods to achieve public notification will include publishing a notice in the INFORM Community Newsletter and on Council's website.

The draft scheme and draft mapping will be made available at Council offices and library. Public notification is timed to commence after this meeting.

The proposed notices, amendment to the planning scheme and mapping are attached to this report.

LINK TO CORPORATE PLAN

Corporate Aim 3: A diversified economic development ensures a prosperous Shire. Corporate Outcome 3.1: A variety of land and housing options for the community.

BUDGET & RESOURCE CONSIDERATIONS

New capital expenditure for future development of industrial land. Future rates and industry activity for the Shire and region.

LEGAL CONSIDERATIONS

Planning Act 2016

POLICY IMPLICATIONS

Nil applicable policies.

CONSULTATION

Please consult Council's Community Engagement Policy in conjunction with the IAP2 Spectrum for guidance.

Consultation	Tick	Policy Consideration	Action
No consultation required	<input type="checkbox"/>	Inform residents through statutory public notification requirements.	Advertise pursuant to government guidelines.
Inform	<input type="checkbox"/>		
Consult	<input checked="" type="checkbox"/>		
Involve	<input type="checkbox"/>		
Collaborate	<input type="checkbox"/>		
Empower	<input type="checkbox"/>		

RISK ASSESSMENT

Risk Assessment Outcome: Low

An assessment of this matter through Council's Enterprise Risk Framework determines this is a Low Risk decision.

Risks

- Non-compliance with legislation
- Community comments

Opportunities

- Improved land availability
- Facilitate economic growth in the Shire

Report Prepared By:

Mark Watt, Chief Executive Officer

Date: 9/6/25

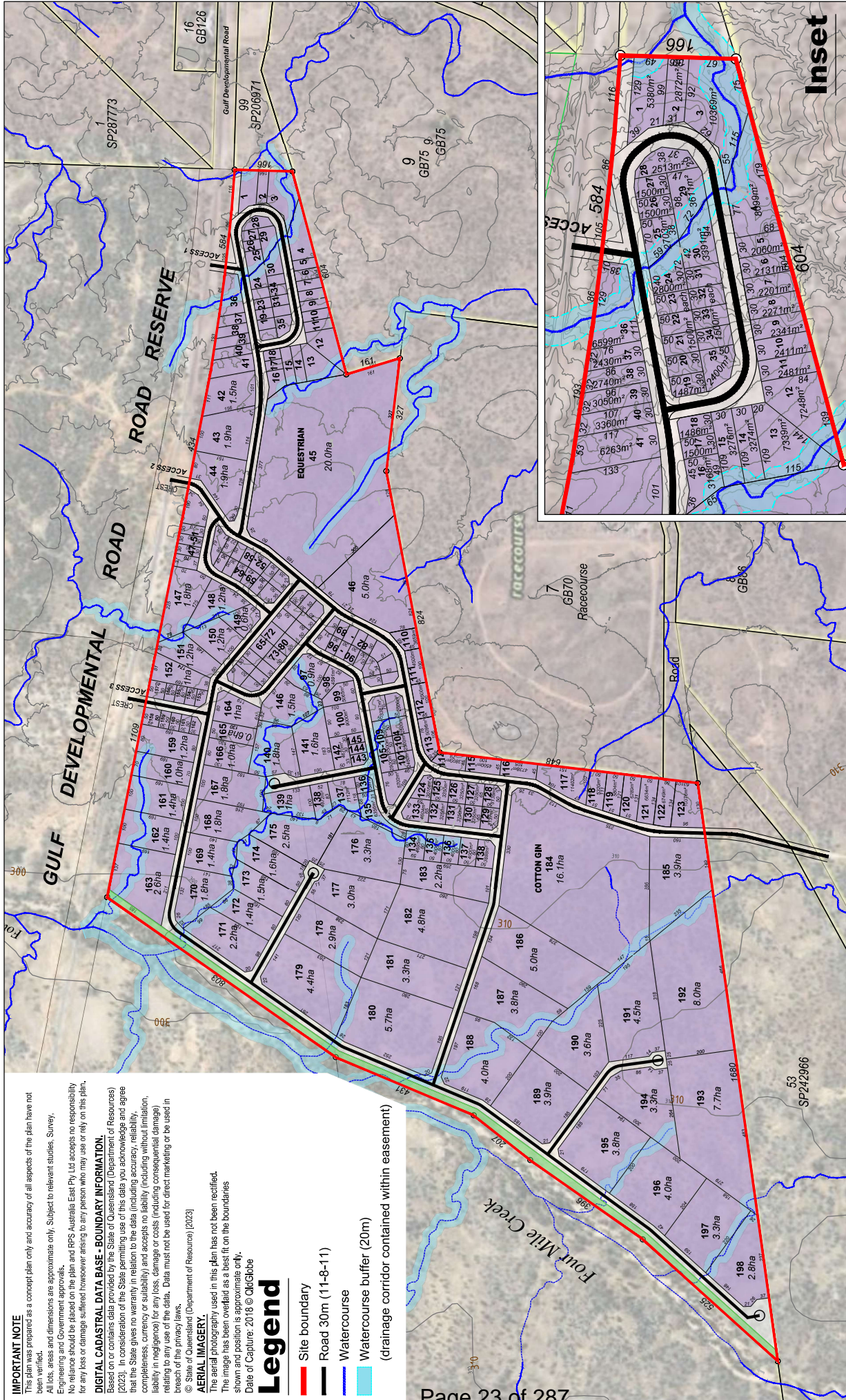
Report Authorised By:

Mark Watt, Chief Executive Officer

Date: 9/6/25

ATTACHMENTS

Concept Plan
Draft Public Notice
Draft Version 1.1 – Etheridge Shire Planning Scheme
ESC Planning Scheme Amendment – Maps



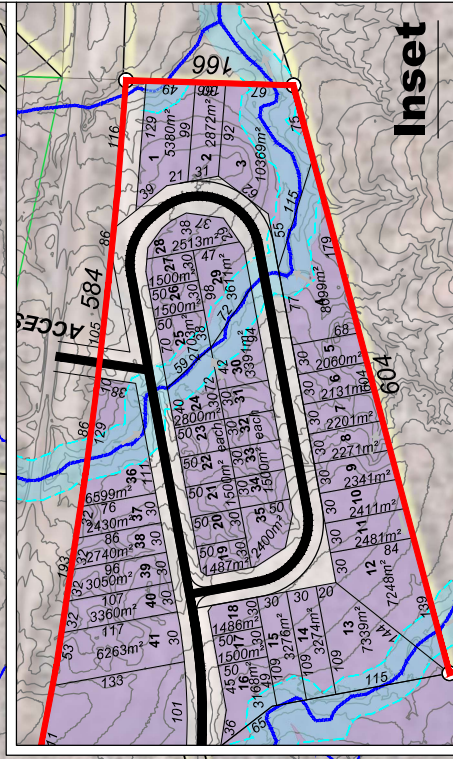
IMPORTANT NOTE
This plan was prepared as a concept plan only and accuracy of all aspects of the plan have not been verified.
All lots, areas and dimensions are approximate only. Subject to relevant studies, Survey, Engineering and Government approvals.
No reliance should be placed on the plan and RPS Australia East Pty Ltd accepts no responsibility for any loss or damage suffered however arising to any person who may use or rely on the plan.

DIGITAL CADASTRAL DATA BASE - BOUNDARY INFORMATION.
Based on or contains data provided by the State of Queensland (Department of Resources) [2023]. In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.
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AERIAL IMAGERY.
The aerial photography used in this plan has not been rectified.
The image has been overlaid as a best fit on the boundaries shown and position is approximate only.
Date of Capture: 2018 © Quicklobe

Legend

- Site boundary
- Road 30m (11-8-11)
- Watercourse
- Watercourse buffer (20m)
(drainage corridor contained within easement)



GEORGETOWN INDUSTRIAL ESTATE CONCEPT PLAN - 198 Lots

Boundaries shown on this plan are derived from DNRME Digital
Cadastral Data Base information and are approximate only.

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PRELIMINARY - FOR DISCUSSION PURPOSES ONLY



Datum: MGA2020 Z55 | Scale: 1:10,000 @ A3 | Date: 30-8-2023 | Drawing: AU011658-1

Etheridge Shire Council Planning Scheme Amendment

Etheridge Shire Council are proposing amendments to the Etheridge Shire Council Planning Scheme 2020.

Since 2018, the Etheridge Shire Council, alongside Regional Development Australia has been investigating the opportunities for economic improvement within the shire, including the Gilbert River Irrigation Project and the increased production of crops, including cotton. Should this be realised a significant hurdle to the growth of the shire and the realisation of this goal is the availability of suitable industrial land to accommodate the associated and supportive industries. Whilst the planning scheme was adopted in 2020, it has been recognised that it did not provide any industrial land. The proposed amendment is intended to address this anticipated demand for industrial land.

The provision of land to the west of Georgetown within the Township Zone (Industry Precinct) would support the Gilbert River Irrigation Project and the Etheridge Agricultural Precinct.

You are invited to have your say on this amendment between **... May – June 2025**.

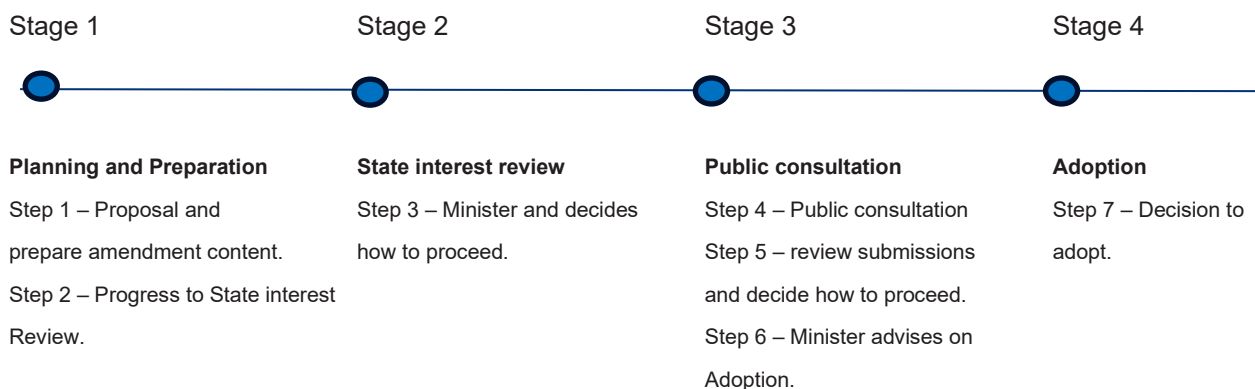
Steps to having your say:

1. Review the Tailored Amendment No.1: Georgetown Industrial Precinct;
2. Prepare a formal submission. To be properly made, a submission must;
 - a. be made to the Chief Executive Officer Etheridge Shire Council; and
 - b. be made in writing and be signed by each person (the submitter/s) making the submission; and
 - c. be received by Council during the public consultation period: and
 - d. state the name and residential or business of all submitters; and
 - e. state the grounds for the submission, and the facts and circumstances relied on to support the grounds; and
 - f. state one email address or postal address for each of the submitters.
3. Choose one of the three ways to lodge your submission:
 - a. Email your form submission to info@etheridge.qld.gov.au
 - b. Post your formal submission to the Chief Executive Officer, Etheridge Shire Council PO Box 12 Georgetown QLD 4871
 - c. In-person during Council opening hours at Etheridge Shire Offices, 41 St George Street, Georgetown.

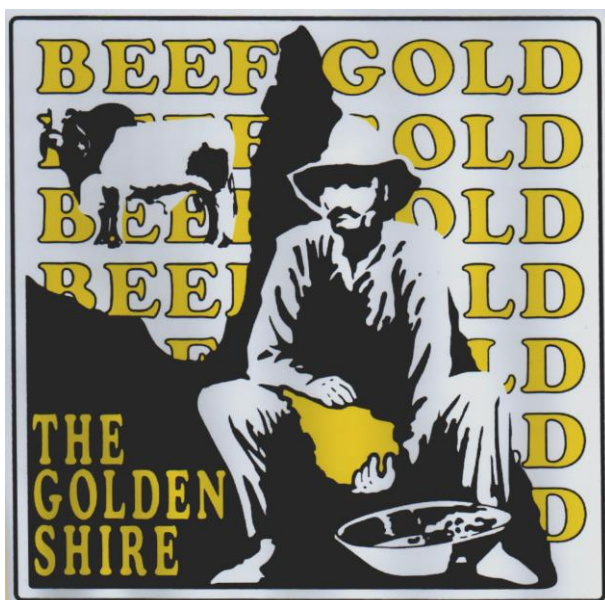
If you have any questions about the amendment package or how to make a formal submission, you can contact Etheridge Shire Council on (07) 4079 9091.

All feedback received on the proposed amendments will inform the final Consultation Report submitted to the Queensland Government as part of the State Interest Review.

The proposed amendment is currently with the State government for review and assessment and public consultation has commenced.



Etheridge Shire Planning Scheme



Citation and commencement

This planning scheme may be cited as Etheridge Shire Planning Scheme.

A notice was published in the Government Gazette No. <#> on <day> <month>, <year> for the planning scheme for the Etheridge Shire.

The commencement date for the planning scheme was <day> <month>, <year>.

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Part 1—About the planning scheme

1.1 Introduction

- (1) The Etheridge Shire Planning Scheme (the planning scheme) has been prepared in accordance with the [Planning Act 2016](#) (the Act) as a framework for managing development in a way that advances the purpose of the Act.
- (2) In seeking to achieve this purpose, the planning scheme sets out Etheridge Shire Council's intention for the future development in the planning scheme area, over the next 20 years.
- (3) The planning scheme applies to the entire area of Etheridge Shire including all premises, roads and internal waterways, and interrelates with the surrounding local government areas illustrated in the Etheridge Shire Planning Scheme Context Map (Schedule 2, CM-1).

1.2 Planning scheme components

- (1) The planning scheme comprises the following components:
 - (a) about the planning scheme
 - (b) state planning provisions
 - (c) the strategic framework
 - (d) tables of assessment
 - (e) the following zones:
 - (i) Rural zone
 - (ii) Township zone, inclusive of the following precincts:
 - (A) Commercial
 - (B) Industrial
 - (C) Residential
 - (D) Rural Residential
 - (f) The following use codes:
 - (i) General development code
 - (g) Other development codes:
 - (i) Operational work code
 - (ii) Reconfiguring a lot code
 - (h) The following schedules:
 - (i) Schedule 1 – Definitions
 - (ii) Schedule 2 – Mapping
 - (iii) Schedule 3 – Etheridge Heritage Places
 - (iv) Schedule 4 – Aboriginal Cultural Significance Planning Scheme Policy

1.3 Interpretation

1.3.1 Definitions

- (1) A term used in the planning scheme has the meaning assigned to that term by one of the following:
 - (a) the *Planning Act 2016* (the Act); or
 - (b) the *Planning Regulation 2017* (the Regulation); or
 - (c) the definitions in Schedule 1 of the planning scheme; or
 - (d) the *Acts Interpretation Act 1954*; or
 - (e) the ordinary meaning where that term is not defined in subparagraph (a) to (d) above.
- (2) If a term has been assigned a meaning in more than one of the instruments listed in sub-section 1.3.1(1), the meaning contained in the instrument highest on the list will prevail.
- (3) A reference in the planning scheme to any Act includes any regulation or instrument made under it; and amended or replaced, if the context permits, means the amended or replaced Act.

- (4) A reference in the planning scheme to a specific resource document or standard, means the latest version of the resource document or standard.
- (5) A reference to a part, section, table or schedule is a reference to a part, section, table or schedule of the planning scheme.

Editor's note—In accordance with section 16(3) of the Act, the regulated requirements apply to this planning scheme to the extent of any inconsistency with the definitions in the planning scheme.

1.3.2 Standard drawings, maps, notes, editor's notes and footnotes

- (1) Standard drawings contained in codes or schedules are part of the planning scheme.
- (2) Maps provide information to support the outcomes and are part of the planning scheme.
- (3) Notes are identified by the title 'note' and are part of the planning scheme.
- (4) Editor's notes and footnotes are extrinsic material, as per the *Acts Interpretation Act 1954*, and are identified by the title 'editor's note' and 'footnote' and are provided to assist in the interpretation of the planning scheme; they do not have the force of law.

Note—This is an example of a note.

Editor's note—This is an example of an editor's note.

Footnote¹—See example at bottom of page.

1.3.3 Punctuation

- (1) A word followed by ';' or 'and' is considered to be 'and'
- (2) A word followed by ';' or 'or' means not all options apply.

1.3.4 Zones for roads, closed roads, waterways and reclaimed land

- (1) The following applies to a road, closed road, waterway or reclaimed land in the planning scheme area:
 - (a) if adjoined on both sides by land in the same zone—the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land; or
 - (b) if adjoined on one side by land in a zone and adjoined on the other side by land in another zone—the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land when measured from a point equidistant from the adjoining boundaries; or
 - (c) if the road, closed road, waterway or reclaimed land is adjoined on one side only by land in a zone—the entire waterway or reclaimed land is in the same zone as the adjoining land; or
 - (d) if the road, closed road, waterway or reclaimed land is covered by a zone then that zone applies.

Editor's note—The boundaries of the local government area are described by the maps referred to in the Local Government Regulation 2012.

1.4 Categories of development

- (1) The categories of development under the Act are:
 - (a) accepted development (includes accepted development subject to requirements)

Editor's note—A development approval is not required for development that is accepted development. Schedule 7 of the Regulation also prescribes accepted development.

- (b) assessable development
 - (i) code assessment
 - (ii) impact assessment

Editor's note—A development approval is required for assessable development. Schedules 9, 10 and 12 of the Regulation also prescribe assessable development.

¹ Footnote—this is an example of a footnote.

- (c) prohibited development

Editor's note—A development application may not be made for prohibited development. Schedule 10 of the Regulation prescribes prohibited development.

- (2) The planning scheme states the category of development for certain types of development and specifies the category of assessment for assessable development in the planning scheme area in Part 4.3.2.

Editor's note—Section 43 of the Act identifies that a categorising instrument categorises development and specifies categories of assessment and may be a regulation or local categorising instrument. A local categorising instrument includes a planning scheme, a TLPI or a variation approval.

1.5 Hierarchy of assessment benchmarks

- (1) Where there is inconsistency between provisions in the planning scheme, the following rules apply:
- (a) the strategic framework prevails over all other components to the extent of the inconsistency for impact assessment;
 - (b) relevant provisions as specified in schedules 6 and 10 of the Regulation prevail over all other components to the extent of the inconsistency;
 - (c) zone codes prevail over other development codes to the extent of the inconsistency.

1.6 Building work regulated under the planning scheme

- (1) Section 17(b) of the Regulation identifies the assessment benchmarks for building work that a local planning instrument must not change the effect to the extent the building work is regulated under the building assessment provisions, unless permitted under the *Building Act 1975*.

- (2) The building assessment provisions are listed in section 30 of the *Building Act 1975*.

Editor's note—The building assessment provisions are stated in section 30 of the *Building Act 1975* and are assessment benchmarks for the carrying out of building assessment work or building work that is accepted development subject to any requirements (see also section 31 of the *Building Act 1975*).

- (3) This planning scheme, through Part 4, regulates building work in accordance with sections 32 and 33 of the *Building Act 1975*.

Editor's note—The *Building Act 1975* permits planning schemes to:

- regulate for the Building Code of Australia (BCA) or the Queensland Development Code (QDC), matters prescribed under a regulation under the *Building Act 1975* (section 32). These include variations to provisions contained in parts MP1.1, MP 1.2 and MP 1.3 of the QDC such as heights of buildings related to obstruction and overshadowing, siting and design of buildings to provide visual privacy and adequate sight lines, on-site parking and outdoor living spaces. It may also regulate other matters, such as designating land liable to flooding, designating land as bushfire-prone areas and transport noise corridors;
- deal with an aspect of, or matter related or incidental to, building work prescribed under a regulation under section 32 of the *Building Act 1975*;
- specify alternative boundary clearances and site cover provisions for Class 1 and 10 structures under section 33 of the *Building Act 1975*.

Refer to schedule 9 of the Regulation to determine assessable development, the type of assessment and any referrals applying to the building work.

Editor's note—A decision in relation to building work that is assessable development under the planning scheme should only be issued as a preliminary approval. See section 83(1)(b) of the *Building Act 1975*.

- (4) The following maps designate the bushfire prone areas and flood hazard areas for the purpose of building assessment under section 32 of the *Building Act 1975* and section 12 and 13 of the *Building Regulation 2006*:
- (a) Flood hazard maps FH-1 to FH-5 in Schedule 2 – Mapping of the Etheridge Shire Planning Scheme;
 - (b) SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area.

Editor's note—The bushfire and flood hazard code provisions in this planning scheme do not apply to building work applications.

Editor's note—The bushfire prone area includes land covered by the very high, high and medium hazard areas as well as the potential impact buffer.

Editor's note—The defined flood level for Georgetown is 297.01m AHD. The remainder of the shire does not have a specified defined flood level.

Part 2—State planning provisions

2.1 State Planning Policy

The Planning Minister is satisfied that the State Planning Policy (SPP) dated July 2017 is appropriately integrated in the Etheridge Shire planning scheme in the following ways:

State interests in the SPP appropriately integrated:

All state planning policy matters relevant to Etheridge Shire LGA, which includes the state planning policy as a whole.

Aspects of the SPP not relevant to Etheridge Shire LGA:

The following state interest matters are not relevant:

- Strategic ports
- Coastal environment
- Natural hazards, risk and resilience (only in relation to coastal hazard storm tide inundation areas).

Editor's note: In accordance with section 8(4)(a) of the Act, the SPP applies to the extent of any inconsistency. Where the planning scheme does not reflect the latest version of the SPP, additional assessment benchmarks may apply and the most recent version as a whole may need to be considered to the extent of the inconsistency.

Part 3—Strategic framework

3.1 Preliminary

- (1) The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs within the planning scheme area for the life of the planning scheme.
- (2) Mapping for the strategic framework is included in Schedule 2.
- (3) For the purpose of describing the policy direction of the planning scheme, the strategic framework is structured in the following way:
 - (a) the strategic intent — Enhancing Liveability and Increasing Prosperity in the Shire
 - (b) the following five themes that collectively represent the policy intent of the scheme:
 - (i) Encouraging economic growth
 - (ii) Facilitating responsible growth for rural and remote township living
 - (iii) Avoiding and mitigating the impacts of natural and other hazards
 - (iv) Safeguarding our environment and heritage
 - (v) Providing appropriate infrastructure
 - (c) the strategic outcomes proposed for development in the planning scheme area for each theme.
- (4) Although each theme has its own section, the strategic framework in its entirety represents the policy intent for the planning scheme.

3.2 Strategic Intent - Enhancing Liveability and Increasing Prosperity in the Shire

The Etheridge Shire Council and our community understand that planning for the future development of the Shire plays a critical role in **enhancing liveability** and **increasing prosperity**, so that it occurs on our terms.

The planning scheme builds upon Etheridge Shire's traditional economic strengths, the primary one being agriculture. It seeks to further enhance economic opportunities in the agricultural sector, as well as supporting **industry**, tourism, mining and renewable energy opportunities. The planning scheme also seeks the enhancement of residential, commercial, community infrastructure and services, and industrial development in the townships.

The planning scheme does this in a way that retains our character; keeps us safe from natural hazards, emissions and hazardous activities; respects and cares for our environment and heritage; and makes best use of our infrastructure.

In striving for liveability and prosperity, the Etheridge Shire envisions:

- A strong and growing shire economy
 - A self-sufficient, robust local economy;
 - Growing local jobs and enhancing local skills;
 - Encouragement of diversification and innovation;
 - Strengthened and broadened tourism opportunities.
- A healthy, resilient community
 - Creating places and spaces for all age groups;
 - Preserving and enhancing Etheridge Shire's rural lifestyle;
 - Maintaining a healthy and active community;
 - Supporting the provision of educational, social and community infrastructure.

- A sustainable and well-managed environment
 - Reducing the impact of weeds and pest animals;
 - Preservation of the Shire's biodiversity;
 - Respecting Aboriginal connections to country;
 - Sustainable planning and design;
 - Increasing provision of essential service infrastructure, including road networks and telecommunications services;
 - Increasing the sustainable use of energy and the use of renewable energy.

The planning scheme realises Council's strategic intent to **enhance liveability** and **increase prosperity** in the Shire through clearly articulating:

- strategic outcomes that satisfy Council's and the community's vision;
- a development assessment framework to support these strategic outcomes for Etheridge Shire now and into the future.

The planning scheme also does this by:

- positively responding to change and encouraging appropriate development;
- ensuring that development decisions are transparent and accountable to the community;
- enabling Etheridge Shire Council to readily and easily provide the community with services and infrastructure;
- enabling other public entities to readily and easily provide services and infrastructure;
- making allowances for future infrastructure, including roads, water and energy;
- recognising the importance of the agricultural industry and supporting appropriate agricultural activities;
- facilitating, and appropriately locating, future tourism developments by limiting planning requirements;
- providing for industry, appropriately located, on the outskirts of Georgetown, Mount Surprise, Forsyth and Einasleigh;
- supporting affordable, accessible, innovative and adaptable housing in a range of tenures available to all sectors of the local community;
- acknowledging and respecting the importance of Aboriginal cultural heritage;
- protecting heritage buildings and places from inappropriate development;
- ensuring flooding and bushfire hazards are considered for all developments;
- supporting the provision of appropriate and aesthetically appealing uses along the main roads through Georgetown and Mount Surprise, and within the hub of each township;
- balancing economic and environmental requirements.

The planning scheme identifies development which supports these fundamentals in terms of **'what we do'** (i.e. having a 'fit for purpose' development assessment regime) and **'where we do it'** (i.e. ensuring an adequate and appropriate land supply).

To support Etheridge Shire's **liveability** and **prosperity** into the future, (throughout the 20-year horizon of this planning scheme – to 2040) development should be strategically located in a safe and efficient manner that does not leave a negative legacy on the community and landscape of the Shire.

Five key policy themes will drive the strategic intent of **enhancing liveability** and **increasing prosperity** of the Shire (with each having specific strategic outcomes). These are detailed in Part 3.3 below.

3.3 Strategic intent statements

3.3.1 Encouraging economic growth and diversification

3.3.1.1 Agriculture

At the commencement of this planning scheme (and as envisaged into 2040), agriculture is a major employer in the Shire, and pastoral leases make up a large portion of Etheridge Shire's land area. Cattle grazing is the predominant agricultural activity, with various cropping pursuits (such as sorghum, cotton and fodder) also undertaken on some farms within the shire.

Agriculture in Etheridge Shire supports other businesses within the agricultural supply chain. A viable agricultural sector will be maintained by removing the potential for land use conflicts, protecting resources from inappropriate development and increasing opportunities for investment, production and diversification.

Development of the Gilbert River area for irrigated agriculture is one such development opportunity. Council's and industry's vision is to open-up a significant area of irrigable land north-west of Georgetown for intensive agriculture. This is seen as an opportunity to progress orderly development of the Gilbert River area and promote employment opportunities and the development of new agricultural industries within the Shire.

The rural area directly surrounding Einasleigh may also offer opportunities for agriculture subject to the availability of water. Diversification of agricultural activities around the township of Einasleigh is supported.

Given the importance the rural area plays to the economy of the Shire, the rural area will be protected from fragmentation that would result in diminished productivity of lands. Development in the Rural zone is to be consistent with rural values and does not compromise the agricultural viability of properties (excluding those protected for nature conservation). This is especially important in lands identified as Agricultural Land Classification (ACL) Class A or Class B on the State Planning Policy (SPP) mapping – Economic Growth, Agriculture, Agricultural Land Classification.

Active weed and pest management is encouraged alongside uses and development that assist with the management of rural lands. The development of value-adding agricultural industries (such as a cattle-feedlot or cotton gin) is supported, where located in rural areas and where they do not compromise the ability of the existing land uses to function safely and effectively. The ability for pastoralists to diversify their farming activities is also supported and balanced alongside the need for irrigation and environmental considerations.

The value that secondary uses on rural properties, such as farm-stays and other tourist activities, can bring to the local economy is recognised. The planning scheme seeks to provide flexibility for appropriate secondary-use development on rural land, whilst maintaining the land's environmental and agricultural values.

The function, connectivity and pasture productivity of the stock route network is maintained for sustainable use by travelling stock on hoof. The stock route network is protected from developments (on or near stock routes) that have potential for conflict between use of the network and use of the adjoining areas. The stock route network is identified in SPP mapping – Economic Growth, Agriculture, Stock Route Network.

3.3.1.2 Tourism

Tourism plays an important role in the local and regional economy, bringing tourist and economic benefits to the Shire. Etheridge Shire is located along the Savannah Way tourist route, linking Cairns in Far North Queensland to Broome in Western Australia's Kimberley region. The route attracts many self-drive tourists and is popular amongst the grey nomads. It is also the main highway that connects the Shire to other centres.

Some of the popular attractions in Etheridge Shire include the Cumberland Chimney, Terrestrial Centre, Cobbold Gorge, Copperfield Gorge, Undara Volcanic National Park and numerous fossicking sites. Significant tourist sites in the region will be protected from inappropriate development that detracts from the

quality of the experience. Etheridge's scenic landscapes and rural and natural features are a drawcard for tourists. Development that conserves the character of the Shire and is sympathetic to the landscape in which it is located is encouraged.

Event-based tourism is also important for the Shire's economy. Popular events include rodeos, horse racing, campcrafts, music festivals, balls and dances. Major events and festivals are supported, where impacts on surrounding premises and neighbours can be adequately managed. Appropriate provision of necessary infrastructure for safe participation is required to support such events.

Whilst event-based tourism contributes to some of the tourist experiences available within Etheridge Shire, a strong priority is encouraging a steady flow of visitors to the shire all year-round. Periods of peak visitation occur around the cooler, winter months. Extending this season through new year-round attractions will help to extend the economic benefit of tourism.

Continued exposure and ready access to Etheridge Shire's businesses and attractions is important for sustaining and enhancing tourism in the Shire. Upgrading and maintaining road networks such as the Gulf Development Road, Gregory Development Road, Forsayth to Georgetown Road and Einasleigh to Forsayth Road is essential to the Council and the community.

Preserving and maintaining the Shire's Aboriginal and non-Aboriginal cultural heritage places is also essential. Not only is historical recognition of these places important, but cultural heritage adds to the depth of tourism experiences.

The Savannahlander rail service between Cairns and Forsayth (passing through Mount Surprise and Einasleigh) is a valuable tourism asset in Etheridge Shire. Development that supports the promotion and continued operation of this service is encouraged.

Developments that enhance, diversify and value-add to the tourist experiences and the tourism economy generally are encouraged. Such developments include:

- Aboriginal tourism ventures (e.g. Tallaroo Hot Springs);
- geotourism ventures;
- preservation and promotion of heritage buildings and places;
- further improvements to streetscaping, parks and recreational facilities within the townships;
- relocation of inappropriate or aesthetically intrusive uses away from the main tourist thoroughfares;
- provision of additional short-term accommodation options and experiences in the rural areas of the shire.

3.3.1.3 Resources

Mining has historically been a significant economic driver for Etheridge Shire though current mining activity is limited to a copper, lead and zinc mine near Einasleigh, exploration and small-time fossicking. New mines, for example a gold mine near Forsayth, will generate employment and increased investment into the local economy.

Development that diversifies and value-adds to the resource industry is supported. New mines are encouraged if development constraints, such as environmental and agricultural considerations, can be satisfied. New land uses do not result in conflict with existing mining operations or tenements².

Extractive industry sites are to be rehabilitated once the resource has been exhausted or the extractive industry use becomes no longer viable.

Non-resident workforce accommodation can be in the Rural zone where appropriate. The strategic framework and zoning maps make allowances for accommodating additional residential uses within the townships. The community will be notified and able to have input into any new non-resident workforce accommodation within the townships.

² Note: the location of mining tenements can be viewed from the Department of Natural Resources, Mines and Energy's GeoResGlobe available online at <https://georesglobe.information.qld.gov.au/>.

3.3.1.4 Services

Georgetown is the region's key service centre in terms of retail, commercial and government services. The protection and continued operation of services within Georgetown is critical to the residents of the Shire. Zoning and provisions in the planning scheme ensure that existing service uses in Georgetown are accommodated and safeguarded from incompatible development. Opportunities for the growth of businesses and services provided in Georgetown have been created through ensuring an adequate supply of commercial and industrial precinct and township zonings.

Commercial developments and services are facilitated by the planning scheme in the smaller townships of Einasleigh, Forsyth and Mount Surprise. Consolidation of uses into designated commercial and township service areas, and industrial areas, is desired in all townships.

3.3.2 Facilitating responsible growth for rural and remote township living

Etheridge Shire, located in the Gulf Savannah Region of Far North Queensland, is approximately 40,000 square kilometres in area and made up of large rural properties that are serviced by Georgetown and Mount Surprise, and the smaller communities of Forsyth and Einasleigh.

The rural lifestyle offered in Etheridge Shire is prized by residents and visitors alike. While development and economic growth in the Shire is encouraged, the preservation of this lifestyle is of importance to Council and the community. Development is expected to be compatible with, and support the maintenance of, a rural lifestyle.

The Etheridge Shire 2018 -2023 Corporate Plan details Council's vision for the Shire as "*Unearthing Etheridge's future to create a future beyond Rates, Roads and Rubbish*". The Corporate Plan acknowledges the Shire will be faced with challenges and changes over the coming years to maintain social, environmental and financial sustainability. The planning scheme will assist in creating well-functioning and successful communities in the Shire.

The 2016 census identifies the resident population of Etheridge Shire as 799 persons. Limited growth in population is expected for the Shire. However, should there be growth in population, the residential land supply designated and available in each township in the planning scheme is considered adequate to meet any future housing needs.

Provision has also been made in the planning scheme to meet other development needs within the townships, such as the provision of sufficient industrial and commercial precinct and township zone land designations. Georgetown will continue to provide a focus for business, administrative and community activities, and infrastructure provision within the Shire.

It is not expected that demand for industrial land will exceed the current availability; however, should future demand for residential or rural residential and industrial land exceed current availability, planning scheme map SFM-1 – Etheridge Shire Planning Scheme Strategic Framework nominates additional future rural residential and future industrial areas in Georgetown that may be suitable for urban expansion. Development of these areas would require further suitability investigations prior to development proceeding. Suitability investigations will need to consider ecological values, natural hazards, infrastructure servicing, tenure and cultural heritage matters. Residential development of these areas is projected to occur outside the life of this planning scheme.

Future commercial development remains in consolidated areas centred along each township's main streets. Future industrial activity is to be concentrated away from sensitive land uses and on the outskirts of the townships; and located to protect community health and safety and the natural environment from the potential adverse impacts of hazardous air, noise and odour emissions from higher impact uses. Infrastructure such as rubbish tips are to remain outside of the townships in the rural areas of the Shire.

So as not to inhibit growth, planning requirements for dwelling house construction, and establishment of new businesses and services remain low, while continuing to preserve the relaxed outback lifestyle and character of the Shire. The importance of providing health and educational services in the townships is recognised, and the operation of such services is to be encouraged and protected from encroachment by inappropriate development.

To better support the lifestyle of the Shire's residents and the appeal of the townships, Council can provide public amenities such as parks and sporting facilities without unnecessary planning requirements. Public amenities such as recreational areas, pool, rodeo grounds and other sporting venues remain central to recreation and community activities. The future improvement of, and support for, such facilities is encouraged.

Georgetown:

Georgetown is situated on the western bank of the Etheridge River and located on the Gulf Developmental Road and at the junction of the Georgetown/Forsayth Road (which are the predominant freight and passenger road networks for the region). It is the largest town in Etheridge Shire and therefore the administrative headquarters of the Shire. It has direct road connections to the three smaller townships of Mount Surprise, Forsayth and Einasleigh.

Georgetown has a hospital and is an important regional centre for health services. There is also a school, child care centre and kindergarten, a hostel for school children coming from remote areas, and a variety of government services available within the town. Georgetown also has several recreational facilities including a public pool and parks well equipped with fitness and playground equipment. A sport and recreation centre is being constructed on St George St and is planned to accommodate a variety of leisure pursuits.

The town has distinct and separated commercial, residential and industrial precincts. The industrial areas closer to the town centre are predominantly used for accommodating low to medium impact industries, with the potential for higher impact industries to be located away from sensitive use areas to the west of the town on the Gulf Developmental Road. This Industrial Precinct is intended to be the principal industrial area for the shire and accommodate the potential growth in demand for industrial land resulting from the proposed Gilbert River Irrigation Project.

Georgetown's residential built form consists primarily of low and high set dwelling houses on single allotments (often more than 800m²), with a mixture of short-term accommodation facilities located near the state-controlled roads. The rural residential precinct located along Forsayth Road is intended to accommodate residents who would like to keep animals such as a horse, or have larger sheds, space and vehicle/machinery storage capacity, whilst still living in the township.

Mount Surprise:

Mount Surprise is a small township in the Shire and has a smaller range of services including a primary school, health clinic/care centre, police station and a sealed airstrip. Mount Surprise's main street Garland Street (the Gulf Developmental Road) provides access to most business, accommodation and recreational facilities.

The main street is intended to remain the preferred location for businesses and services with the remainder of the town being a mixture of low and high set dwelling houses, light industries and government services on large allotments. The low-density of the township is valued by residents and is to be preserved in future development decisions.

Forsayth:

Forsayth is the second largest town in the Shire and rests on the western bank of the Delaney River. It is located between Georgetown and Einasleigh and has a small mixture of services and commercial uses including a police station, health clinic, primary school, shop, hotel and caravan park. Forsayth is the terminus of the Savannahlander tourist railway and the former station master's residence is heritage-listed.

Dwelling houses in Forsayth are predominantly located on single residential allotments. The low-density pattern of development is valued by residents and is to be preserved in future development decisions. Mining activity within the area may stimulate some additional growth in Forsayth. Provision has been made in the planning scheme to accommodate residential, industrial and commercial growth in the township.

Einasleigh:

Einasleigh is situated on the western banks of the Copperfield River and is the smallest town in the Shire. Einasleigh has a mixture of facilities and amenities including a community hall, health clinic/care centre, hotel, caravan park, racecourse and rodeo grounds and public park.

Dwelling houses in Einasleigh are a mix of high and low set construction located on single residential allotments. The township has a number of heritage listed places and is adjacent to the picturesque Copperfield Gorge. Development must be sympathetic to preserving and enhancing the experience of these features. Development in the township must also consider any potential flooding impacts and highset houses may be encouraged in certain circumstances.

3.3.3 Avoiding and mitigating the impacts of natural and other hazards

3.3.3.1 Bushfire

Etheridge Shire is prone to bushfire events and bushfire prone areas in the Shire are shown on SPP mapping – Safety and Resilience to Hazards, Bushfire Prone Area. New development must take bushfire risks into account by making sure that it does not unduly burden disaster management response or recovery capacity, nor adversely impact the existing capabilities of emergency services. New developments avoid areas known to be bushfire-prone and where unavoidable are built and located to be resilient to bushfires.

Council has a proactive approach to the risk management of bushfire and firebreaks are maintained around the townships. In order to circumvent bushfire risks, firebreaks and active fire management are encouraged in the rural areas of the shire and within national parks and conservation reserves.

3.3.3.2 Flooding

Flood events have been experienced on varying scales throughout Etheridge Shire. Flooding has impacted people's homes, public infrastructure and at times the viability of agricultural businesses within the Shire. Roads are often damaged, cut off or washed away during flood events. Consequently, some residents of the Shire, as well as many others residing throughout the region, are prone to isolation during flood events. The loss of essential roads also has economic consequences for the Shire.

Development in the region should not expose people or property to unacceptable risks of flood hazards. Development is encouraged within those areas of Etheridge Shire that are not known to flood. Future development should be located, sited, designed and constructed to tolerate, not worsen, and adapt to flood risks. It is also important to ensure that flood risks to key infrastructure, including water, sewerage and energy facilities, are managed.

Georgetown has sustained numerous flood events throughout history. The corner of South Street and St George Street is protected from inundation by an earthen levee. The 1974 flood extent is defined by this short levee at this location. In 2014 a Level 2 flood study was undertaken for Georgetown which was based on the 1974 flood (and some approximate survey points from local recollections for the 1956 flood). This study refined existing flood mapping and is included in Schedule 2 – Mapping. Flood assessment and/or defined minimum floor heights will be applied to development on sites affected by flooding.

Flood mapping is included for the whole Shire in Schedule 2 – Mapping. Most flood mapping for the Shire is very basic modelling used to estimate potential flood hazard areas. Georgetown is the only area of the Shire to have had a more detailed study done of flood data and mapping.

The townships of Mount Surprise and Forsayth are less prone to flooding than Georgetown and minimal properties need to consider flood risks. Einasleigh is covered by the Queensland floodplain assessment

overlay mapping and development occurring within the township needs to consider and mitigate potential flood risks. Refinement to Einasleigh's flood mapping may occur over time.

3.3.3.3 Landslide

A risk of landslide potentially exists in some rural areas of the shire, however due to the size and remoteness of Etheridge's rural properties (and their predominant use for agricultural purposes) it poses a minimal hazard. All four townships are relatively flat and landslide risk within the townships is low to non-existent. Development is encouraged on level and stable land and avoided on or near steep slopes or unstable land.

3.3.3.4 Emissions and hazardous activities

Activities involving the use, storage and disposal of hazardous materials and hazardous chemicals, dangerous goods and flammable or combustible substances are located to:

- avoid or mitigate potential adverse impacts on surrounding uses;
- minimise the health and safety risks to communities and individuals.

Etheridge Shire has a long history of mining and risks are present with regards to disused underground mines, tunnels and shafts. Sensitive land uses are protected from the impacts of previous activities that may cause risk to people or property, including former mining activities and hazards. The location of new development outside of the township area must take this risk into consideration³.

3.3.4 Safeguarding our environment and heritage

Etheridge Shire's environment and rich heritage contribute to both its economic potential and liveability. It is critical that these elements be safeguarded against inappropriate development.

The planning scheme can achieve this by:

- striking a balance between the need for economic development and environmental protection;
- providing protection for waterways, areas of high environmental value and local flora and fauna;
- using land in a sustainable and practical way, that enhances Etheridge Shire's unique local identity and liveability;
- making provision for affordable, alternative energy options, including solar power;
- providing protection for the Shire's non-Aboriginal heritage places and allowing for the adaptive re-use of such places where appropriate;
- acknowledging and respecting the importance of Aboriginal cultural heritage and providing direction for the protection of places and areas of cultural significance.

3.3.4.1 Waterways

Etheridge Shire is located primarily in the Gilbert Basin catchment which boasts three major river systems namely the Einasleigh River to the East, the centralised Etheridge River, and the Gilbert River to the West. The headwaters of these rivers start in the Gilbert and Newcastle Ranges. The rivers run predominantly south to north-west flowing through to the Gulf of Carpentaria. Whilst the Gilbert catchment is the shire's primary system the southern end of the shire does feed the Flinders Catchment.

These river systems are of importance to the environmental health of the Gulf of Carpentaria, as well as being sources of significant environmental, cultural and economic value. Development within the shire must facilitate the protection of environmental values and the achievement of water quality objectives for the shire. New development will maintain appropriate levels of water availability and water quality.

Developments such as the Charleston Dam on the Delaney River and irrigation schemes on the Gilbert River recognise not only the economic but cultural and environmental importance of the waterways in the shire.

³ The locations of former mining activities within the shire can be viewed at the [Department of Natural Resources, Mines and Energy's GeoResGlobe](#). Advice on former mining activity is available via the Geological Survey of Queensland helpline at: geological_info@dnrme.qld.gov.au

3.3.4.2 Biodiversity

The majority of Etheridge Shire is located within the Einasleigh Uplands bioregion, with some small western portions of the shire located in the Gulf Plains bioregion. The Einasleigh Uplands bioregion consists of a series of rugged hills and ranges, dissected plateaus and alluvial and sand plains. The bioregion is dominated by eucalypt woodlands. In the Gulf bioregion, grasslands and woodlands of eucalypts, melaleuca and acacia cover the landscape of plains and river channels comprising clay and alluvial soils.

Significant state threatened species of fauna and flora have been listed in the shire, and the ones listed as Endangered or Vulnerable include:

Fauna	Flora
Gouldian finch (<i>Erythrura gouldiae</i>)	<i>Cycas cairnsiana</i>
Black-throated finch (<i>Poephila cincta cincta</i>)	<i>Cycas couttsiana</i>
Grey falcon (<i>Falco hypoleucos</i>)	<i>Pluchea punctata</i>
Painted honeyeater (<i>Grantiella picta</i>)	<i>Macropteranthes montana</i>
Yellow chat (<i>Epthianura crocea</i>)	<i>Ipomoea saintroanensis</i>
Australian painted snipe (<i>Rostratula australis</i>)	<i>Euphorbia carissoides</i>
Curlew sandpiper (<i>Calidris ferruginea</i>)	<i>Tephrosia leveillei</i>
Ghost bat (<i>Macroderma gigas</i>)	<i>Acacia guymeri</i>
Koala (<i>Phascolarctos cinereus</i>)	<i>Drummondita calida</i>
Greater glider (<i>Petauroides volans</i>)	<i>Solanum angustum</i>
Northern greater glider (<i>Petauroides volans minor</i>)	<i>Solanum carduiforme</i>
Common death adder (<i>Acanthophis antarcticus</i>)	<i>Eriocaulon carsonii</i>
Limbless fine-lined slider (<i>Lerista ameles</i>)	<i>Eriocaulon carsonii subsp. orientale</i>
Leaden-bellied fine-line slider (<i>Lerista vanderduysi</i>)	<i>Lepturus minutus</i>

Some rare and uncommon fish species also exist within Etheridge Shire and the protection of these are important to the shire's (and Queensland's) biodiversity.

Biodiversity is important to both agriculture and tourism in the shire. Development is to be located in areas that avoids significant adverse impacts on state biodiversity values and protects these values while maintaining ecological connectivity. If avoidance cannot be achieved, it must be demonstrated that impacts have been carefully managed and minimised (mitigated). The state biodiversity areas are identified in SPP mapping - Environment and Heritage, Biodiversity.

3.3.4.3 National parks and conservation reserves

National parks and conservation reserves located within Etheridge Shire are included within the Rural zone. Protection of these areas primarily occurs under other legislation. National parks and conservation reserves are primarily set aside for nature conservation purposes and are not intended for agricultural uses.

Council maintains the roads leading into Etheridge Shire's national parks and reserves, and initiatives that encourage increased visitation to these areas need to consider the potential impacts on road infrastructure.

It is important that appropriate fire management occur to national parks and conservation reserves, as bushfires can impact surrounding properties and pose a risk to the cattle industry in the Shire. Council places priorities on firebreaks around townships, homesteads and in areas adjacent to large parcels of vegetation.

3.3.4.4 Aboriginal cultural heritage

Etheridge Shire has a long and rich heritage. The Traditional Owners of the majority the shire's country are the Ewamian people, who have determined Native Title rights over large areas of land within the shire. The Ewamian Aboriginal Corporation (EAC) also own freehold property within each of the shire's townships and numerous Aboriginal reserves exist throughout the shire.

The Tagalaka, Gudu Badhun and Wakaman Peoples also have connections to country within Etheridge Shire. The Tagalaka People have determined Native Title rights over a western portion of the shire (which then extends significantly into Croydon Shire). The Gugu Badhun People have determined Native Title rights over a small portion of land in the east of the shire, with most of their country extending east of the Etheridge local government area. Some of the Wakaman People's country is located in the north of the shire.

The expansion of European settlement into Etheridge Shire saw many Aboriginal People dispossessed of their lands, affecting the continuous physical occupation of their Ancestors. Despite the many hostile and tragic events of the past, increasing pastoral activities in the region saw Ewamian, Tagalaka, Gugu Badhun and other Aboriginal People employed as stockman and domestics on various stations for many years in the shire. This provided a continued connection to country for some traditional owners.

Ewamian and other Traditional Owners played an essential role in the development of the pastoral industry in the Etheridge Shire. Typically, a pastoral station would include a homestead, outhouses, sheds, yards and stockmen quarters (usually Aboriginal). In the early years, substantial Aboriginal camps were often present on stations, usually set back from the homestead near a water resource such as a lagoon or river.

Ewamian country is very rich in cultural and significant sites. These range from rock arts, scar trees, artefacts, occupation sites, bora grounds, stone groovings, and ceremonial grounds. Most rock art sites can be found along the sandstone escarpments located along the Newcastle Ranges and near water sources. Scar trees and artefacts are found right throughout Ewamian country as are ceremonial and bora grounds. Stone groovings can be found in the rivers and creeks.

Ewamian People lived at the Georgetown Aboriginal Reserve until the 1980s. Children often stayed at the Reserve with their extended family while their parents were working on stations in the area. Ewamian people recall that corroborrees were held at the Reserve in the early years while hunting, collecting bush tucker and fishing were important activities for residents of the Reserve. Surrounding the Reserve are birthplaces and burials of Ewamian people.

The Ewamian People are currently developing a tourist attraction at Talaroo Station (includes accommodation, access to hot springs and opportunities for increasing community participation in Aboriginal culture). The EAC have many aspirations and plans they would like to see recognised within the shire. They support initiatives that will bring employment and opportunities for their people and their children. Enhanced economic prospects through appropriate development of Aboriginal freehold land is supported. Importance is also placed on ensuring development considers, protects and preserves Ewamian culture and country for future generations. Traditional land management practices are also promoted on Ewamian country.

The Tagalaka, Gudu Badhun and Wakaman peoples also have a strong cultural connection to their lands, which contain some areas and sites of cultural significance within Etheridge Shire. These are located within the rural areas of the shire. As with the Ewamian People, they would like to ensure their aspirations are supported by the planning scheme, and that development considers and protects places of significance to their peoples and respects traditional owner connections to country.

Many Aboriginal heritage areas and sites can be found throughout the shire. Some Aboriginal heritage areas and sites are included on a cultural heritage database (managed by the Department of Aboriginal and Torres Strait Islander Partnerships) and some have yet to be identified.

The EAC have identified some land parcels on the outskirts of Georgetown known as containing sites of cultural significance for inclusion in planning scheme. These include the Georgetown Aboriginal Reserve and are shown on planning scheme policy map PM-1 Etheridge Shire Planning Scheme Areas of Cultural

Significance. Table SC3.1 – Local Heritage Places in Schedule 3 of the scheme also includes some historical information pertaining to Aboriginal significance.

Matters of Aboriginal cultural heritage are to be appropriately conserved and considered in accordance with the requirements of the *Aboriginal Cultural Heritage Act 2003* and the *Native Title Act 1993*. The Aboriginal Cultural Significance Planning Scheme Policy contained in Schedule 4 of this planning scheme provides direction on meeting legislative requirements, protecting Aboriginal cultural heritage and acknowledging Aboriginal values and significance of land within Etheridge Shire.

3.3.4.5 Non-Aboriginal cultural heritage

Etheridge Shire contains many important non-Aboriginal state and local heritage places. Thirteen places in the shire are listed on the Queensland Heritage Register. The importance of numerous locally significant heritage places has been recognised and included in Schedule 3 of the planning scheme as a list of Local Heritage Places.

Both state and local heritage places provide an important connection to the shire's history. They represent significant links to the European settlement and subsequent development of the shire and are valuable to the local community. The protection and promotion of these places is important in maintaining Etheridge's character and identity, and as a tourism drawcard, contributing to visitor and tourist experiences.

The adaptation and re-use of state and local heritage places is supported to ensure that the shire's history is kept alive for future generations, whilst facilitating appropriate development and ongoing use for the benefit of the community. Development is to conserve the physical features, fabric and contents that contribute to the cultural heritage significance of the heritage place. Changes to the setting or context of the heritage place that reduce understanding or appreciation of its cultural heritage significance are to be avoided. Any changes to a heritage place as a result of development will be appropriately managed, documented and interpreted.

3.3.5 Providing appropriate infrastructure

It is imperative that infrastructure provision keep pace with any growth and development in Etheridge Shire. The planning scheme aids in establishing a co-ordinated approach linking the provision of infrastructure, land use and economic development.

3.3.5.1 Roads

The road network servicing Etheridge Shire is of social and economic significance to the region. It is also integral to intra-state connectivity. The shire and its communities are heavily invested in and reliant upon the quality of the road network for social and economic purposes. The road network of the region caters for a wide variety of road users from: domestic scale use by residents, to road trains for transporting stock and commodities, to tourists in cars, buses or towing caravans, to long-distance cyclists.

The Gulf Development Road (part of National Highway 1 and the Savannah Way) is a main link to other regional centres and. ~~The road is sealed though a few small sections remain one lane and need upgrading.~~ Road-trains and caravans are common vehicles on this road. To improve the safety and accessibility of this road for all users Council desires that the entire road be upgraded to two lanes (one each direction). The Kennedy Development Road and Gregory Highway also provide important connections within the shire and to adjoining shires. Any new development must not adversely affect the safety and efficiency of the road network identified in SPP mapping - Infrastructure, Transport Infrastructure, State-controlled road.

To support Etheridge's tourism, agricultural and mining industries, as well as the Shire's residents, it is important that not just the main roads but other roads within the shire are accessible. The Forsayth Road and Einasleigh Forsayth Road (as shown on planning scheme map SFM-1 – Etheridge Shire Planning Scheme Strategic Framework) are being progressively sealed.

Council seeks to improve the length of time shire roads can remain open. Roads that remain operational and accessible in all-weather conditions ensure access in emergencies, prevents isolation on rural properties,

and allows communities and businesses to continue functioning uninterrupted year-round. Improving the flood immunity of the road network is a high priority for Council. New developments should consider impacts on, and provide safe access to, both local and state road networks.

3.3.5.2 Air

The Georgetown airport is the only registered airport within the shire. Mount Surprise, Forsayth and Einasleigh airstrips all have all-weather bitumen runways of varying lengths and play a vital role in delivering health services across the shire. The Georgetown airport also provides a direct link to other regional centres and could become vitally important if major business or resource projects are started in the region.

The Royal Flying Doctor Service provides a life-saving health service for the region, and services all four townships in Etheridge Shire.

Any new developments located in close proximity to Georgetown, Forsayth, Mount Surprise and Einasleigh townships must not create incompatible intrusions or compromise the safety of the existing airports and associated aviation navigation and communication facilities.

Etheridge Shire has one registered aviation facility, which is located at Cheviot Hills on the southern border of the shire and adjoining Rungulla National park (shown on SPP mapping Infrastructure, Strategic Airports and Aviation Facilities, Aviation facility). This aviation facility is important for flight navigation. Development must adhere to the building restriction areas that apply to this facility. There is a low risk of any development impacting this facility given its location in the Rural zone and bordering a national park.

3.3.5.3 Rail

A rail line links Forsayth to Cairns and is currently utilised as a tourist attraction through the operation of the "Savannahlander" tourist train. The train runs a four-day excursion from Cairns to Forsayth and back again with overnight stops in Forsayth, Mount Surprise and Almaden. The rail corridor is now heritage listed and does not allow for any movements of heavy freight or transportation of livestock. It is identified in SPP mapping – Infrastructure, Transport Infrastructure, Railway corridor as well as in planning scheme maps SFM-1 Etheridge Shire Planning Scheme Strategic Framework and CM-1 Etheridge Shire Planning Scheme Context Map.

The rail corridor provides a valuable tourist asset to the shire and new development must not compromise the rail corridor's long-term viability. It also must not result in a worsening of the physical condition or operating performance of the railway.

3.3.5.4 Energy, water supply and communications

Due to the remote nature of the shire, electricity, water supply and telecommunication services are of vital importance to ensure the safety and wellbeing of local residents. Existing and approved future major electricity infrastructure locations and corridors (including easements, renewable energy facilities, and electricity substations), and water supply infrastructure locations and corridors (including easements) are protected from development that would compromise the corridor integrity, and the efficient delivery and functioning of the infrastructure.

The shire's townships are located on the national electricity grid, however some of the shire's rural properties rely on individual generators and power systems (primarily solar). Infrastructure identified on SPP mapping – Infrastructure, Energy and Water Supply must not be adversely impacted upon by new developments.

Council is building Charleston Dam, which is to be located about six kilometres downstream of Forsayth and about 31 kilometres upstream of Georgetown on the Delaney River. This dam is principally for town water supply purposes to both these townships, however a secondary use of the dam will be for recreational purposes.

Etheridge Shire faces some challenges with its telecommunications system. The shire's rural properties rely on satellite services for telecommunications with very limited mobile telephone coverage. Council is committed to improving the telecommunications infrastructure of the shire and the planning scheme supports the provision of such infrastructure.

Renewable energy projects and further renewable energy opportunities exist with the shire, as well as opportunities for agricultural irrigation such as the Gilbert River Irrigation Scheme. The development of such projects is supported within the rural areas of the shire, provided environmental and financial viability considerations can be met.

3.3.5.5 Town-based infrastructure

Etheridge Shire Council will continue to provide dedicated infrastructure services, including water and stormwater, waste, road networks and open space areas to the extent possible within the budget framework. This may include:

- a program of improvements to the stormwater drainage network;
- improvement to parks, open spaces and recreational facilities;
- grey water usage;
- solar power usage;
- aged accommodation.

Part 4—Tables of assessment

4.1 Preliminary

The tables in this part identify the category of development, and the category of assessment and assessment benchmarks for assessable development in the planning scheme area, as well as any relevant requirements for accepted development.

4.2 Reading the tables

The tables identify the following:

- (1) the categories of development and assessment:
 - (a) accepted, including accepted with requirements;
 - (b) assessable development—code or impact;
- (2) the assessment benchmarks for assessable development and requirements for accepted development, including:
 - (a) whether a zone code or specific provisions in the zone code apply (shown in the 'assessment benchmarks' column);
 - (b) any other applicable code(s) (shown in the 'assessment benchmarks' column);
- (3) any variation to the category of assessment (shown as an 'if' in the 'assessment category' column) that applies to the development.

Note—Development will only be taken to be prohibited development under the planning scheme if it is identified as prohibited development in schedule 10 of the Regulation.

Editor's note—Examples of matters that can vary the category of assessment are gross floor area, height, numbers of people or precinct provisions.

4.3 Categories of development and assessment

4.3.1 Process for determining the category of development and the category of assessment for assessable development

The process for determining a category of development and category of assessment is:

- (1) for a material change of use, establish the use by reference to the use definitions in Schedule 1;
- (2) for all development, identify the zone or zone precinct that applies to the premises, by reference to the zone map in Schedule 2;
- (3) determine if the development is accepted development under Schedule 6 or 7 of the Regulation, or is assessable or prohibited development under Schedule 10 of the Regulation;

Editor's note—Schedule 6 of the Regulation prescribes development that a planning scheme cannot state is assessable development where the matters identified in the schedule are met. Schedule 7 of the Regulation identifies development the state makes accepted. Some development in schedule 7 may still be made assessable under this planning scheme.

- (4) otherwise, determine the initial category of assessment by reference to the tables in:
 - section 4.4 Categories of development and assessment—Material change of use; or
 - section 4.5 Categories of development and assessment—Reconfiguring a lot; or
 - section 4.6 Categories of development and assessment—Building work; or
 - section 4.7 Categories of development and assessment—Operational work.

4.3.2 Determining the category of development and categories of assessment

- (1) A material change of use is assessable development requiring impact assessment:
 - (a) unless the table of assessment states otherwise;
 - (b) if a use is not listed or defined;
 - (c) unless otherwise prescribed in the Act or the Regulation.
- (2) Reconfiguring a lot is assessable development requiring code assessment unless the tables of assessment state otherwise or unless otherwise prescribed in the Act or the Regulation.
- (3) Building work and operational work are accepted development, unless the tables of assessment state otherwise or unless otherwise prescribed in the Act or the Regulation.

- (4) Where an aspect of development is proposed on premises included in more than one zone or precinct, the category of development or assessment for that aspect is the highest category under each of the applicable zones or precincts.
- (5) The category of development prescribed under schedule 6 of the Regulation, overrides all other categories of development or assessment for that development under the planning scheme to the extent of any inconsistency.
- (6) Despite all the above, if development is listed as prohibited development under schedule 10 of the Regulation, a development application cannot be made.

Note—Development is to be taken to be prohibited development under the planning scheme only if it is identified in schedule 10 of the Regulation.

4.3.3 Determining the requirements for accepted development and assessment benchmarks and other matters for assessable development

The following rules apply in determining assessment benchmarks for each category of development and assessment:

- (1) Accepted development does not require a development approval and is not subject to assessment benchmarks.
- (2) Accepted development that does not comply with the assessment category criteria in the assessment tables becomes code-assessable development, unless otherwise specified.
- (3) Accepted development subject to requirements does not require a development approval but is subject to certain assessment benchmarks. Accepted development subject to requirements must comply with the assessment category criteria in the assessment tables. It must also comply with the acceptable outcomes in the relevant parts of the applicable code(s) as identified in the assessment benchmarks column.
- (4) Accepted development subject to requirements that does not comply with the assessment category criteria in the assessment tables becomes impact-assessable development, unless otherwise specified.
- (5) Accepted development subject to requirements that does not comply with the acceptable outcomes in the relevant parts of the applicable code(s) as identified in the assessment benchmarks column becomes code-assessable development, unless otherwise specified.
- (6) Code-assessable development:
 - (a) is to be assessed against all the assessment benchmarks identified in the assessment benchmarks column;
 - (b) that occurs as a result of development becoming code assessable pursuant to sub-section 4.3.3(2) or 4.3.3(4) must:
 - (i) be assessed against all the assessment benchmarks identified in the assessment benchmarks column;
 - (ii) comply with all required acceptable outcomes identified in sub-section 4.3.3(1) or 4.3.3(3) other than those mentioned in sub-section 4.3.3(2) or 4.3.3(4);
 - (c) complies with the purpose and overall outcomes of the code; and
 - (i) the performance or acceptable outcomes comply with the purpose and overall outcomes of the code;
 - (d) is to be assessed against any assessment benchmarks for the development identified in section 26 of the Regulation.

Editor's note—Section 27 of the Regulation also identifies the matters that code assessment must have regard to.

- (7) Impact-assessable development:
 - (a) is to be assessed against the identified assessment benchmarks in the assessment benchmarks column (where relevant);
 - (b) assessment is to have regard to the whole of the planning scheme, to the extent relevant;
 - (c) is to be assessed against any assessment benchmarks for the development identified in section 30 of the Regulation.

Editor's note—Section 31 of the Regulation identifies the matters that impact assessment must have regard to.

4.4 Categories of development and assessment—Material change of use

The following tables identify the categories of development and assessment for development in a zone for making a material change of use.

Table 4.4.1 – Rural zone

Accepted development		
Use term	Assessment category criteria	Assessment benchmarks
Any use listed below as accepted development	If: a) not located on a local heritage place identified in Schedule 3 – Local Heritage Places; or b) located on a local heritage place identified in Schedule 3 – Local Heritage Places and being provided by ESC.	
air service		
animal husbandry		
Caretaker's accommodation	If not located in a flood hazard area identified in Schedule 2 - Mapping or bushfire prone area identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area.	
cemetery	If provided by ESC	
cropping	Where located a minimum of 50m away from any waterway	
dwelling house		
environment facility	If provided by a public sector entity	
home-based business	If: a) does not require more than the owner and two (2) employees on-site at any one time; b) does not involve the repair or maintenance of vehicles, other than minor maintenance of vehicles used in conjunction with the home-based business; c) where bed and breakfast, does not exceed three (3) bedrooms; d) where bed and breakfast or a home-based childcare is not located: <ul style="list-style-type: none"> in a flood hazard area identified in Schedule 2 – Mapping; in a bushfire prone area identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area. <p><i>Editor's note: depending on the type of home-based business approvals may still be required under other legislation (such as the Food Act 2006).</i></p>	
major electricity infrastructure	If provided by a public sector entity	
outdoor sport and recreation	If provided by ESC	
outstation		

Accepted development (cont.)		
Use term	Assessment category criteria	Assessment benchmarks
park		
permanent plantation	If not located in an 'Important agricultural area' mapped on SPP mapping – Economic Growth - Agriculture.	
renewable energy facility	If provided by ESC Editor's note: wind farms are assessable by the State	
roadside stall	Note - Separate approval is required from the Department of Transport and Main Roads for a Roadside Stall in the State-controlled road reserve under the Transport Infrastructure Act 1994.	
substation	If provided by a public sector entity	
telecommunications facility		
utility installation	If: a) provided by a public sector entity; b) not a water treatment plant or waste management facility located in a flood hazard area identified in Schedule 2 – Mapping.	
Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
animal keeping	Where located a minimum of 5km away from the Township zone	Rural zone code
emergency services		General development code
environment facility	If not provided by a public sector entity and is for 100 patrons or less per day.	
major sport, recreation and entertainment facility	If provided by ESC	
motor sport facility	If provided by ESC	
nature-based tourism	If: a) for 16 patrons or less per day where accommodated in a building or self-contained camping or recreational vehicle sites; b) providing a nature-based tourism activity for 100 patrons or less per day; c) no more than four (4) accommodation structures are constructed to facilitate overnight stays.	
short-term accommodation	If for 16 patrons or less	
tourist attraction	If provided by ESC	
tourist park	If: a) for 16 patrons or less per day where accommodated in a building or self-contained camping or recreational vehicle sites; b) no more than four (4) accommodation structures are constructed to facilitate overnight stays.	

Accepted development subject to requirements (cont.)		
Use term	Assessment category criteria	Assessment benchmarks
transport depot		Rural zone code
rural industry		General development code
rural workers' accommodation		
Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
environment facility	Where not accepted development or accepted development subject to requirements	Rural zone code
intensive animal industry	Where located a minimum of: a) 5km away from the Township zone b) 50m away from any waterway	General development code
intensive horticulture		
non-resident workforce accommodation		
winery		
Impact assessment		
Use term		Assessment benchmarks
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.		The planning scheme

Table 4.4.2 – Township zone – where not located within a precinct

Accepted development		
Use term	Assessment category criteria	Assessment benchmarks
Any use listed below as accepted development	If: a) not located on a local heritage place identified in Schedule 3 – Local Heritage Places; or b) located on a local heritage place identified in Schedule 3 – Local Heritage Places and being provided by ESC.	
cemetery	If provided by ESC	
community residence	If meeting requirements in Schedule 6. Part 2, item 6 of the Regulation	
dwelling house	If not located in a flood hazard area identified in Schedule 2 – Mapping	
home-based business	If: a) the gross floor area (GFA) does not exceed 60m ² ; b) does not require more than the owner and two (2) employees on-site at any one time; c) does not generate more than one (1) heavy vehicle trip per week; d) does not involve hiring out of materials, goods, appliances or vehicles; e) does not involve the repair or maintenance of vehicles, other than minor maintenance of vehicles used in conjunction with the home-based business; f) where bed and breakfast, does not exceed three (3) bedrooms; g) other than where a bed and breakfast or home-based childcare, the business use does not operate outside the hours of 8am to 5pm Monday to Friday, 8am to 2pm Saturday and does not operate on Sunday; h) where bed and breakfast or a home-based childcare is not located: <ul style="list-style-type: none"> in a flood hazard area identified in Schedule 2 – Mapping; in a bushfire prone area identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area. <p><i>Editor's note: depending on the type of home-based business approvals may still be required under other legislation (such as the Food Act 2006).</i></p>	
market	If provided by ESC	
park		
substation	If provided by a public sector entity	
telecommunications facility		
utility installation	If: a) provided by a public sector entity; b) not located in a flood hazard area identified in Schedule 2 – Mapping.	

Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
dwelling house	If located in the Georgetown Township zone and in a flood hazard area identified in Schedule 2 – Mapping	A01 in the General development code
air service	If for a helicopter landing area	Township zone code General development code
caretaker's accommodation		
childcare centre	If provided by a public sector entity	
club	If: a) provided by ESC; or b) other than provided by ESC and does not involve the sale of liquor.	
community care centre	If provided by a public sector entity	
community use		
dwelling unit	If provided by a public sector entity	
educational establishment	If provided by a public sector entity	
emergency services		
environment facility		
function facility	If provided by a public sector entity	
funeral parlour	If provided by ESC	
health care service		
hospital	If provided by a public sector entity	
office		
indoor sport and recreation		
major electricity infrastructure	If provided by a public sector entity	
outdoor sport and recreation		
place of worship		
residential care facility	If provided by a public sector entity	
retirement facility	If provided by a public sector entity	
short-term accommodation	If provided by ESC	
theatre		
tourist attraction		
tourist park	If provided by ESC	
transport depot	If provided by ESC	

Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
dwelling house	If located in the Einasleigh, Forsayth or Mount Surprise Township zone and in a flood hazard area identified in Schedule 2 – Mapping	PO33 and PO35 in the General development code
Impact assessment		
Use term	Assessment benchmarks	
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.	The planning scheme	

Table 4.4.3 – Township zone – Industrial precinct

Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
air service	If for a helicopter landing area	Township zone code
agricultural supplies store		General development code
bulk landscape supplies		
caretaker's accommodation		
emergency services		
garden centre		
hardware and trade supplies		
low impact industry		
major electricity infrastructure		
medium impact industry		
outdoor sales		
research and technology industry		
rural industry		
service industry		
showroom		
substation		
telecommunications facility		
transport depot		
utility installation		
veterinary service		
warehouse		
Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
service station		Township zone code General development code

Impact assessment	
Use term	Assessment benchmarks
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.	The planning scheme

Table 4.4.4 – Township zone – Commercial precinct

Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
agricultural supplies store		Township zone code General development code
caretaker's accommodation		
club	If: a) provided by ESC; or b) other than provided by ESC and does not involve the sale of liquor.	
community use		
dwelling unit		
emergency services		
food and drink outlet		
function facility		
garden centre		
hardware and trade supplies		
health care service		
market		
office		
service industry		
shop		
shopping centre		
tourist attraction	If provided by ESC	
veterinary service		
Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
bar		Township zone code General development code
childcare centre		
hotel		
research and technology industry		
outdoor sales		
service station		
showroom		

Code assessment (cont.)		
Use term	Assessment category criteria	Assessment benchmarks
short-term accommodation		Township zone code General development code
Impact assessment		
Use term		Assessment benchmarks
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.		The planning scheme

Table 4.4.5 – Township zone – Residential precinct

Accepted development		
Use term	Assessment category criteria	Assessment benchmarks
Any use listed below as accepted development	If: a) not located on a local heritage place identified in Schedule 3 – Local Heritage Places; or b) located on a local heritage place identified in Schedule 3 – Local Heritage Places and being provided by ESC.	
community residence	If meeting requirements in Schedule 6. Part 2, item 6 of the Regulation	
dwelling house	If not located in a flood hazard area identified in Schedule 2 – Mapping	
home-based business	If: a) the gross floor area (GFA) does not exceed 60m ² ; b) does not require more than the owner and two (2) employees on-site at any one time; c) does not generate more than one (1) heavy vehicle trip per week; d) does not involve hiring out of materials, goods, appliances or vehicles; e) does not involve the repair or maintenance of vehicles, other than minor maintenance of vehicles used in conjunction with the home-based business; f) where bed and breakfast, does not exceed three (3) bedrooms; and g) other than where a bed and breakfast or home-based childcare, the business use does not operate outside the hours of 8am to 5pm Monday to Friday, 8am to 2pm Saturday and does not operate on Sunday; i) where bed and breakfast or a home-based childcare is not located: <ul style="list-style-type: none">in a flood hazard area identified in Schedule 2 – Mapping;in a bushfire prone area identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area. <i>Editor's note: depending on the type of home-based business approvals may still be required under other legislation (such as the Food Act 2006).</i>	
park		
Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
childcare centre	If provided by ESC	Township zone code
community use	If provided by a public sector entity	General development code
dual occupancy	If located on a site with a minimum area of 1000m ²	
emergency services		

Accepted development subject to requirements (cont.)		
Use term	Assessment category criteria	Assessment benchmarks
dwelling house	If located in the Georgetown Township zone and in a flood hazard area identified in Schedule 2 – Mapping	Township zone code General development code
residential care facility	If provided by a public sector entity	
retirement facility	If provided by a public sector entity	
sales office		
Code assessment		
Use term	Assessment category criteria	Assessment benchmarks
dwelling house	If located in the Einasleigh, Forsayth or Mount Surprise Township zone and in a flood hazard area identified in Schedule 2 – Mapping	PO33 and PO35 in the General development code
Impact assessment		
Use term		Assessment benchmarks
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.		The planning scheme

Table 4.4.6 – Township zone – Rural Residential precinct

Accepted development		
Use term	Assessment category criteria	Assessment benchmarks
Any use listed below as accepted development	If: <div>a) not located on a local heritage place identified in Schedule 3 – Local Heritage Places; or</div> <div>b) located on a local heritage place identified in Schedule 3 – Local Heritage Places and being provided by ESC.</div>	
animal keeping	Where stables that are associated with an existing dwelling house	
community residence	If meeting requirements in Schedule 6. Part 2, item 6 of the Regulation	
dwelling house	If not located in a flood hazard area identified in Schedule 2 – Mapping	
home-based business	If: <div>a) does not require more than the owner and two (2) employees on-site at any one time;</div> <div>b) does not involve the repair or maintenance of vehicles, other than minor maintenance of vehicles used in conjunction with the home-based business;</div> <div>c) where bed and breakfast, does not exceed three (3) bedrooms;</div> <div>d) where bed and breakfast or a home-based childcare is not located:<div><div>• in a flood hazard area identified in Schedule 2 – Mapping;</div><div>• in a bushfire prone area identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area.</div></div></div> <i>Editor's note: depending on the type of home-based business approvals may still be required under other legislation (such as the Food Act 2006).</i>	
park		
roadside stall	<i>Note - Separate approval is required from the Department of Transport and Main Roads for a Roadside Stall in the State-controlled road reserve under the Transport Infrastructure Act 1994.</i>	
Accepted development subject to requirements		
Use term	Assessment category criteria	Assessment benchmarks
community use	If provided by a public sector entity	Township zone code
emergency services		General development code
dwelling house	If located in the Georgetown Township zone and in a flood hazard area identified in Schedule 2 – Mapping	
outdoor sport and recreation	If provided by ESC	
substation	If provided by a public sector entity	
telecommunications facility		

Accepted development subject to requirements (cont.)		
Use term	Assessment category criteria	Assessment benchmarks
transport depot	If: a) not exceeding an area of 1500m ² ; b) associated with an existing dwelling house.	Township zone code General development code
utility installation	If: a) provided by a public sector entity; b) not a water treatment plant or waste management facility located in a flood hazard area identified in Schedule 2 – Mapping.	
Impact assessment		
Use term		Assessment benchmarks
Any other use not listed in this table. Any use listed in the table and not complying with any of the criteria in the assessment category criteria column. Any other undefined use.		The planning scheme

4.5 Categories of development and assessment— Reconfiguring a lot

The following table identifies the category of development and assessment for reconfiguring a lot.

Table 4.5.1 Reconfiguring a lot

Zone	Assessment category and criteria	Assessment benchmarks
All zones and precincts	Code assessment	
	All reconfiguring a lot	Reconfiguring a lot code General development code

Editor's note: The above category of development and assessment apply unless otherwise prescribed in the Regulation.

4.6 Categories of development and assessment—Building work

The following table identifies the categories of development and assessment for building work regulated under the planning scheme.

Table 4.6.1 Building work

Zone	Assessment category and criteria	Assessment benchmarks
All zones and precincts	Code assessment	
	If located on the site of a local heritage place identified in Schedule 3 – Local Heritage Places and is: a) not being undertaken by ESC; b) other than internal building work that does not materially affect the cultural significance of the place; c) other than for an ancillary building or structure which is setback and detached from the heritage place.	General development code

Editor's note: The above categories of development and assessment apply unless otherwise prescribed in the Regulation.

4.7 Categories of development and assessment—Operational work

The following table identifies the categories of development and assessment for operational work.

Table 4.7.1 Operational work

Zone	Assessment categories and criteria	Assessment benchmarks
All	Code assessment	
	If operational work for the reconfiguration of a lot	Operational work code General development code
	If operational work for a material change of use on a site with an area exceeding 2,000m²	
	If on the site of a local heritage place identified in Schedule 3 – Local Heritage Places and: a) located within 40m of the heritage place or item; b) not being undertaken by ESC.	
	If filling and excavation: a) within 1.5m of a lot boundary and exceeding a depth of 300mm; or b) involving a depth or height exceeding 1m.	
	If filling and excavation within 10m of a substation.	
Township zone	If filling and excavation within a flood hazard area identified in Schedule 2 – Mapping if: a) filling greater than 1.5m in height; or c) filling or excavation of more than 50m³ of material.	Operational work code General development code
	If filling and excavation within a flood hazard area identified in Schedule 2 – Mapping if: b) filling greater than 1.5m in height; or c) filling or excavation of more than 50m³ of material.	
	Accepted development	
Any other operational work not listed in this table.		

Editor's note: The above categories of development and assessment apply unless otherwise prescribed in the Regulation.

Part 5—Zones

5.1 Preliminary

- (1) Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
- (2) Zones are mapped and included in Schedule 2.
- (3) The categories of development and assessment for development in a zone are in Part 4.
- (4) A precinct may be identified for part of a zone.
- (5) Precinct provisions are contained in the zone code.
- (6) Each zone code identifies the following:
 - (a) the purpose of the code;
 - (b) the overall outcomes that achieve the purpose of the code;
 - (c) the performance outcomes that achieve the overall outcomes and the purpose of the code;
 - (d) the acceptable outcomes that achieve the performance and overall outcomes and the purpose of the code;
 - (e) the performance and acceptable outcomes for any precincts.
- (7) The following are the zone codes for the planning scheme:
 - (a) Rural zone code;
 - (b) Township zone code, including:
 - (i) Commercial precinct
 - (ii) Industrial precinct
 - (iii) Residential precinct
 - (iv) Rural residential precinct.

5.2 Zone codes

5.2.1 Rural zone code

This code applies to development where the code is identified as applicable in a table of assessment.

5.2.1.1 Purpose

The purpose of the Rural zone is to:

- (a) provide for rural uses and activities;
- (b) provide for other uses and activities that are compatible with—
 - (i) existing and future rural uses and activities;
 - (ii) the character and environmental features of the zone;
- (c) maintain the capacity of land for rural uses and activities by protecting and managing significant natural resources and processes.

Etheridge Shire Council's intended purpose for the Rural zone is to also:

- (a) ensure the productive capacity of agricultural and associated rural industries is maximised and maintained, while protecting biodiversity values and allowing for farm diversification and value adding industries to occur in the rural area;
- (b) recognise the importance of agricultural land identified as Class A or B as shown on SPP mapping - Economic Growth, Agricultural land classification – class A and B whilst balancing environmental considerations;
- (c) maintain the character and amenity of the rural and natural environment;
- (d) include recognised environmental areas such as national parks and reserves, and give protection to the shire's biodiversity;
- (e) encourage tourism development where it can value-add to the viability of rural enterprises, does not diminish biodiversity values and avoids impacts of flooding and bushfire;
- (f) ensure that the functional connectivity of the stock route network is maintained and any development within or adjacent to stock routes or reserves provides for their continued function;
- (g) ensure development protects extractive industry or potential resource sites for future development, and also protects existing rural uses from impacts of proposed extractive industry and associated activities;

- (h) allow for the development of renewable energy facilities, whilst protecting agricultural and environmental interests;
- (i) protect existing electricity, telecommunications and emergency services infrastructure.

The purpose of the zone code will be achieved through the following outcomes:

- (a) the zone primarily accommodates grazing, cropping and value-adding rural uses;
- (b) new tourist developments are accommodated where they:
 - i. do not threaten the viability of existing rural uses;
 - ii. assist with maintaining the viability of existing rural production enterprises;
- (c) new extractive activities are established with minimum impact on the viability of existing agricultural, residential and tourist uses, or areas of environmental significance including hydrological processes beyond the site's boundary;
- (d) biodiversity values and ecological connectivity are protected and maintained;
- (e) the character and landscape of all rural land is maintained;
- (f) adequate separation and buffering is provided by new development to ensure the amenity of residential and other sensitive land uses is protected;
- (g) flooding and bushfire hazards risks are avoided, and where unavoidable, risks are minimised;
- (h) abandoned mines are identified and their safety hazards are mitigated;
- (i) new development is separated from existing essential infrastructure (such as substations and telecommunications facilities) to maintain public health and safety, preserve residential amenity and allow access for maintenance.

Table 5.2.1.2 Assessment benchmarks: Rural zone code

Performance outcomes	Acceptable outcomes
For accepted development subject to requirements and assessable development	
PO1 Buildings and structures are setback from the front, side and rear boundaries generally consistent with character and amenity of the zone.	AO1 Buildings and structures are setback a minimum of 20m from a State-controlled road otherwise 10m from all boundaries.
For assessable development	
PO2 Development: (a) does not conflict with existing rural land uses or the natural and scenic values of the area; (b) maintains the long-term production values of the land for rural purposes.	AO2 No Acceptable outcome provided.
PO3 Tourist uses supporting the primary rural activities on the site are limited in scale and do not to threaten the viability of traditional rural uses or the local environment.	AO3.1 Tourist uses are small scale and sited in existing cleared areas away from agricultural activities.
	AO3.2 Tourist uses are located a minimum of 100m clear any use or activity that has the potential to cause detrimental impacts, such as noise, odour and dust.
PO4 New development does not jeopardise existing or potential extractive industry, mining operations or other rural activities.	AO4 Sensitive land uses are separated from an existing or approved: (a) intensive animal industry use by at least 1,000m; (b) mining activity by: i. 1,000m; ii. 250m from a haul route; (c) extractive industry operation by: i. 1,000m from a hard rock extractive industry; ii. 200m from a sand or gravel extractive industry;

Performance outcomes	Acceptable outcomes
	iii. 250m from a haul route used by any existing operation.
PO5 Extractive industry is adequately separated from sensitive land uses to minimise potential for nuisance or complaint.	AO5 New extractive uses and activities are not established within the following distances of an existing sensitive land use: (a) 1,000m for a hard rock extractive industry; (b) 200m for a sand or gravel extractive industry; (c) 250m for a haul route used by any existing operation.
PO6 Blasting and the transportation of extracted resources associated with extractive industry does not compromise rural amenity or adversely impact on sensitive land uses.	AO6.1 Blasting activities do not occur within 1000m of existing dwellings and are designed and managed to avoid negative impacts on surrounding land; OR Where blasting must be carried out in order to exploit a resource located within 1000m of an existing dwelling, a report prepared by a suitably qualified person demonstrates the development design and procedure will avoid negative impacts on existing dwellings.
	AO6.2 Development and transportation of resources avoids nuisance from noise, light, dust and vibration impacts by providing adequate setbacks of operations from: (a) road frontages; (b) site boundaries; (c) surrounding residential uses; (d) other sensitive land uses; (e) scenic viewpoints.
PO7 Extractive industry provides for the progressive rehabilitation of all areas subject to extractive industry operations to a stable and restored state so the land is suitable for use by alternative land uses.	AO7.1 Extractive industry provides for all rehabilitation work to be undertaken on a progressive basis in accordance with an expected final landform design and site rehabilitation plan.
	AO7.2 Rehabilitation is completed within 6 months of cessation of the extractive industry.
PO8 Areas of abandoned mines are to be avoided or remediated. Note –locations of abandoned mines or former mining activity can be viewed at the Department of Natural Resources, Mines and Energy's GeoResGlobe	AO8 Geotechnical investigation is carried out and all necessary works to remediate the site are completed prior to further development of the site.

5.2.2 Township zone code

This code applies to development where the code is identified as applicable in a table of assessment.

5.2.2.1 Purpose

The purpose of the Township zone is to provide for:

- (a) small to medium urban areas in a rural area;
- (b) a variety of uses and activities to service local residents, including, for example, business, community, education, industrial, open space, recreation, residential or retail uses or activities;
- (c) tourist attractions and short-term accommodation, if appropriate for the area.

Etheridge Shire Council's purpose of the Township zone is to also provide for the urban development of Georgetown as the community and service centre of the shire, and the urban development of the smaller townships of Mount Surprise, Forsyth and Einasleigh. The Township zone aims to:

- (a) maintain the character and amenity of Etheridge Shire's townships;
- (b) provide for the continuation of existing infrastructure and community uses such as schools, halls, medical and recreation facilities;
- (c) allow for tourist uses where these can be successfully integrated into the character and fabric of the townships;
- (d) protect Etheridge Shire's heritage buildings and places and the historic amenity of the townships;
- (e) ensure that development provides an appropriate level of infrastructure;
- (f) locate development in areas where bushfire and flood risks are low;
- (g) facilitate economic development in the general Township zone and commercial and industrial precincts by:
 - i. providing for a wide range of industrial uses where they do not conflict with sensitive land uses;
 - ii. providing consolidated areas for commercial activities along the main streets;
 - iii. promoting re-use of existing heritage and character buildings.

The purpose of the zone code will be achieved through the following outcomes:

- (a) a range of uses including residential, retail, business, government, education, industrial, community, tourist facilities, recreation and open space are supported in the zone and its precincts in appropriate locations which do not impact on neighbouring uses;
- (b) residential uses are protected from non-residential uses by buffering and design techniques that limit the impacts of non-residential uses;
- (c) development provides a high level of amenity through appropriate setbacks, site coverage, hours of operation, consideration of impacts on neighbouring properties, building design and positive contributions to the streetscape;
- (d) industrial land uses are protected from encroachment by incompatible land uses.

The purpose of the zone will also be achieved through the following additional precinct outcomes:

- (a) *Commercial precinct:*
 - i. This precinct promotes and consolidates commercial, service and retail uses that service the shire;
 - ii. New developments create an attractive and pedestrian-based built form that achieves a high standard of design and blends with the existing character and streetscape of the township;
 - iii. New commercial buildings make provision for on-site handling of goods, car parking for staff and clients, landscaping and shade areas in keeping with the existing streetscape;
- (b) *Residential precinct:*
 - i. This precinct supports predominantly dwelling houses on residential lots where lot size is consistent with existing township character;
 - ii. Home based-businesses are supported where uses are subordinate from the primary residential use, do not detract from the residential amenity of the area, and do not undermine the viability of the nearby Commercial and Industrial precincts;
 - iii. Residential dwelling choices are provided in the zone including dual occupancy, multiple dwelling, and retirement housing. These are established in locations with appropriate access to infrastructure and facilities, where the design complements the existing township

character, and where the density of development is generally consistent with the density achieved through existing residential development in the precinct;

(c) *Industrial precinct:*

- i. This precinct enables the establishment of a wide range of industries;
- ii. Industries are established and consolidated in this precinct to minimise potential conflict with nearby sensitive land uses;
- iii. Industries manage impacts to maintain acceptable levels of amenity to surrounding uses.
- iii. The Industrial precinct includes a large area to the west of Georgetown, which is intended to accommodate industrial development resulting from the Gilbert River Irrigation Project. This area is intended to accommodate a mix of industry uses, including medium to large scale industry uses with adequate separation from residential and other sensitive land uses.

(d) *Rural residential precinct:*

- i. This precinct primarily accommodates dwelling houses and ancillary structures (including sheds) on large lots in a semi-rural setting;
- ii. Home-based businesses are appropriate where they do not detract from the primary residential function and the amenity of the area, or impact on neighbours;
- iii. Small scale transport depots are supported where they are associated with a residential use;
- iv. Development protects and enhances environmental values including waterways;
- v. Development is located in areas that are not flood prone and where bushfire hazard is low.

Table 5.2.2.2 Assessment benchmarks: Township zone code.

Performance outcomes	Acceptable outcomes
For accepted development subject to requirements and assessable development	
PO1 Buildings and structures are setback from front, side and rear boundaries generally consistent with: <ol style="list-style-type: none"> (a) the intended form, function and character of development in the Township zone or precinct; (b) prevailing setbacks of existing development in the zone or precinct; (c) amenity outcomes for adjoining development, streetscapes and public spaces. 	AO1 For all non-residential development the following setbacks apply: <ol style="list-style-type: none"> (a) Commercial precinct: building/structures/*development have a minimum setback of zero at the front and 2m from the side and rear boundaries. (b) Industrial precinct: building/structures/*development have a minimum setback of 6m at the front and 2m from the side and rear boundaries. (c) Residential precinct and Township zone (no precinct): buildings and structures have a minimum setback of 6m at the front and 2m from the side and rear boundaries. (d) Rural Residential precinct: buildings and structures have a minimum setback of 10m from all boundaries. Editor's Notes: <i>* where not in a building, such as outdoor equipment and storage areas</i> <i>All other setbacks will be in accordance with the Building Code of Australia (BCA) or the Queensland Development Code (QDC), under the regulation of the Building Act 1975.</i>
For assessable development	
PO2 Development is consistent with the existing built form in terms of size, design, siting and physical characteristics. The appearance and siting of buildings, other structures, car parking areas or signage is compatible with the local streetscape character, the style and design of nearby buildings, and is	AO2 No Acceptable Outcome provided.

Performance outcomes	Acceptable outcomes
respectful and sympathetic to any heritage places.	
PO3 Tourist accommodation is provided in locations where serviced with existing infrastructure, and where it: <ul style="list-style-type: none"> (a) is complementary to the existing character of the area; (b) does not have an adverse impact on residential amenity; (c) Contributes to the quality and diversity of accommodation experiences available within the area. 	AO3 No Acceptable Outcome provided.
PO4 Industrial land uses are protected from encroachment by incompatible land uses.	AO4 Sensitive land uses do not compromise the viability and operation of existing or future industrial development and are not located within close proximity to the Industrial precinct.
PO5 Where adjoining a residential use, non-residential uses are located and designed to avoid privacy impacts on the residential use.	AO5 Non-residential uses are designed and oriented to avoid overlooking of habitable room windows or private outdoor recreation areas of any adjoining residential use; OR Screening or opaque windows are provided where any direct views are available.
PO6 Non-residential uses are compatible with, and complementary to, adjoining residential uses and do not impact on existing levels of residential amenity including air quality, noise and lighting.	AO6.1 A non-residential use does not involve an Environmentally Relevant Activity.
	AO6.2 No adverse impacts occur from the development on adjoining residences with regards to noise, dust, vibration, light, odour and traffic generation.
Commercial precinct	
PO7 The character of the Commercial precinct is enhanced by the design of new buildings that are sympathetic to traditional streetscapes, in terms of scale, siting, architectural elements such as awnings and building features.	AO7 No Acceptable Outcome provided.
PO8 Hours of operation are consistent with maintaining a reasonable level of amenity for nearby land in a residential precinct.	AO8 No Acceptable Outcome provided.
PO9 New buildings maintain and enhance the existing streetscape and relationship with adjoining buildings.	AO9 Footpaths, awnings and any decorative building features contribute towards the street frontage, complement adjacent styles and materials, and join at the same or similar levels.
PO10 New uses developed in the precinct do not detract from the precinct's predominant commercial nature.	AO10 No Acceptable Outcome provided.

Performance outcomes	Acceptable outcomes
Residential precinct	
PO11 New development is located and designed to contribute to the residential amenity and character of the area.	AO11 No acceptable outcome is prescribed.
PO12 Dual Occupancy maintains a consistent scale, density and character that is complementary and compatible with the surrounding residential area and avoids impacts on the visual amenity of the streetscape.	AO12 No Acceptable Outcome provided.
PO13 Multiple dwellings or retirement facilities are of a scale, density and character that is complementary and compatible with the surrounding residential area.	AO13.1 Multiple dwellings are located on lots with a minimum area of 1000m ² .
	AO13.2 The number of dwellings contained in a multiple dwelling and/or retirement facility does not exceed one unit per 200m ² .
Industrial precinct	
PO14 Industrial development does not result in sensitive land uses being affected by industrial air, noise and odour emissions.	AO14.1 Sensitive land uses (other than Caretaker's accommodation) are not established within the industrial precinct.
	AO14.2 Air, noise and odour emissions from the development do not cause an environmental nuisance beyond the industrial precinct and meet required regulations and standards.
PO15 Uses are consistent with and make a positive contribution to the economy and character of the industrial precinct, and do not detract from the Township zone 'no precinct' and Township zone 'commercial precinct' areas as being the primary location for commercial development.	AO15 Commercial development such as food and drink outlets are not located within the Industrial precinct.
Rural residential precinct	
PO16 New development is located and designed to contribute to the residential amenity and character of the area.	AO16 No acceptable outcome is prescribed.
PO17 Non-residential uses do not have an unacceptable impact on residential uses.	AO17 Development for a non-residential use demonstrates there are no adverse impacts on sensitive land uses in the zone with regard to noise, dust, vibration, light, or odour.

Part 6—Development codes

6.1 Preliminary

- (1) Development codes are codes for assessment where identified as an applicable code in Part 4 of the planning scheme.
- (2) Use codes and other development codes are specific to each planning scheme area.
- (3) The following are the codes and requirements under the Regulation for development in the planning scheme area:
 - (a) Community residence code requirements applying to development that may not be made assessable development under the planning scheme
 - (b) Cropping (involving forestry for wood production) code applying to development that may not be made assessable development under the planning scheme
 - (c) Reconfiguring a lot (subdividing one lot into two lots) and associated operational work code applying to development for which code assessment is required under schedule 10, part 12 and schedule 10, part 14 division 2 of the Regulation.
- (4) The following are the use codes for the planning scheme:
 - (a) General Development Code
- (5) The following are the other development codes for the planning scheme:
 - (a) Operational Work Code
 - (b) Reconfiguring a Lot Code.

6.2 Development that cannot be made assessable in accordance with schedule 6 of the Planning Regulation 2017

Editor's note—The following schedules of the Regulation are relevant to the Etheridge Shire Planning Scheme

- Schedule 6, Part 2, section 6 of the Regulation, Material change of use for community residence
- Schedule 12 of the Regulation, Particular reconfiguring a lot requiring code assessment.
- Schedule 13 of the Regulation, Requirements for cropping involving forestry for wood production

6.3 Use codes

6.3.1 General development code

This code applies to development where the code is identified as applicable in a table of assessment.

The purpose of the General development code is to ensure that development is complementary to Etheridge Shire and is located, designed and managed in a safe and efficient manner.

The purpose of the code will be achieved through the following overall outcomes:

- (1) Development has a safe and practical site layout;
- (2) Development does not detract from the shire's streetscapes, is complementary to the scale of neighbouring uses, and contributes to the character of the locality;
- (3) Development conserves and protects local heritage places and items, Aboriginal cultural heritage, and safeguards archaeology and archaeological potential;
- (4) An appropriate level of servicing and infrastructure is provided to new development and it is connected to Council infrastructure where available;
- (5) The site layout protects the amenity of the area including residential, industrial and commercial uses, allows sufficient areas for parking, manoeuvring and landscaping on the site, and allows for safe and efficient access and egress;
- (6) Assets of the Council are protected;
- (7) Non-resident workforce accommodation is appropriately located to protect the amenity of the locality, is well serviced and designed, and is operated in a manner that will not detract from existing uses;
- (8) Development in a natural hazard area is avoided or mitigated to protect people and property and enhance the community's resilience to natural hazards;
- (9) Development is located to protect and enhance matters of national, state and local environmental significance, landscape values and ecological connectivity;
- (10) The stock route network and function of aviation facilities are protected.

Editor's note – Land shown on State Planning Policy (SPP) Mapping – Natural Hazards Risk and Resilience – Bushfire prone area is designated as the bushfire prone area for the purposes of section 12 of the *Building Regulation 2006*.

Editor's note – Land shown as a flood hazard area in Schedule 2 – Mapping is designated as the flood hazard area for the purposes of section 12 of the *Building Regulation 2006*.

Table 6.3.1.1: Assessment benchmarks - General development code

Performance outcomes	Acceptable outcomes
For accepted development subject to requirements and assessable development	
Development Located in a Flood Hazard Area as identified in Schedule 2 - Mapping	
PO1 Development located on a site containing a flood hazard area (as identified in Schedule 2 – Mapping) responds to flooding potential and maintains personal safety at all times with regard to siting, design and layout. Note: The defined flood event for the Georgetown Township zone is that of 1% Annual Exceedance Probability (AEP) flood event, from which the defined flood level of 291.07m AHD has been calculated.	AO1 Development on a site identified as containing a flood hazard area is sited and designed so that: <ol style="list-style-type: none"> (a) it is located: <ol style="list-style-type: none"> (i) outside of the mapped flood hazard area; or (ii) in the mapped flood hazard area for Georgetown and can achieve a freeboard for all habitable rooms of 600mm above 291.07 AHD; (b) there is at least one (1) evacuation route that achieves safe egress for emergency evacuations during all floods.

Performance outcomes	Acceptable outcomes
PO2 Public safety and the environment are not adversely affected by the detrimental impacts of flooding or bushfire on hazardous materials manufactured or stored in bulk.	AO2 Development does not involve the manufacture or storage of hazardous materials within an area identified as flood hazard on the flood hazard maps (as identified in Schedule 2 – Flood mapping) or as a bushfire prone area as identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area.
Development Located in a Bushfire Prone Area as identified on SPP mapping – Natural Hazards, Risk and Resilience	
PO3 Development located in a bushfire prone area as identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area is designed and located to minimise potential impacts of bushfire to people and property.	AO3 Development is not located in a bushfire prone area as identified on SPP Mapping – Natural Hazards Risk and Resilience – Bushfire prone area.
Local Heritage as identified in Schedule 3 – Etheridge Heritage Places	
PO4 Development does not have a detrimental impact on the cultural heritage significance of the local heritage place.	AO4 Development is not located on a local heritage place identified in Schedule 3 – Local Heritage Places; OR Development is located on a local heritage place identified in Schedule 3 – Local Heritage Places and: (a) involves no building or operational work; or (b) is being undertaken by ESC.
Site layout	
PO5 The size and bulk of new buildings associated with development: (a) maintains and enhances the intended local character of the location (zone and/or precinct); (b) avoids over-development of the site; (c) results in development at a consistent scale, siting and intensity to nearby development.	AO5 Total development on the site has a maximum site cover as follows: (a) Township zone (where not in a precinct) - 50% (b) Township zone (Commercial precinct) - 85% (c) Township zone (Residential precinct) - 50% (d) Township zone (Industrial precinct) - 40% (e) Township zone (Rural residential precinct) – 10% (f) Rural zone – no acceptable outcome prescribed.
Building design and amenity	
PO6 The height of development: (a) maintains the overall low rise scale and character of development in Etheridge Shire; (b) reflects the intended form, function and character of development in the respective zone or precinct; (c) integrates with existing surrounding development without introducing adverse amenity impacts.	AO6 The height of development does not exceed: (a) Township zone (where not in a precinct) – 10m; or (b) Township zone (Commercial and Residential precincts) – two (2) storeys or 8.5m; or (c) Township zone (Industrial and Rural Residential precincts) – 15m; or (d) Rural zone – no acceptable outcome provided.

Performance outcomes	Acceptable outcomes
PO7 New buildings or structures present an articulated and traditional façade to the street featuring design elements that reduce the appearance of scale and bulk.	AO7 Except where in the Rural zone, or Industrial or Rural Residential precincts of the Township zone, at least three (3) of the six (6) elements below must be incorporated into the front façade of new buildings: (a) verandas or porches; or (b) awnings and shade structures; or (c) variations to the roof and building lines; or (d) recesses and projections of the external facade; or (e) doors and window openings; or (f) a range of building materials, colours and textures matching or complementing those prevailing in neighbouring buildings.
PO8 Where provided, outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.	AO8 Light emanating from any source complies with Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting.
PO9 Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.	AO9 Non-residential development is provided with a designated waste collection area that is: (a) located on a concrete slab; (b) located to the side or rear of the premises; (c) screened from public view.
PO10 Landscaping is provided to enhance the visual appeal of development and soften the appearance of the built form. The majority of landscaping is to be undertaken on the principal street frontage of the development.	AO10.1 Except in the Rural zone, a minimum of 10% of the total development area is landscaped.
	AO10.2 Landscaping includes vegetation and is provided: (a) at the front of the development in the general Township zone and the Industrial precinct of the Township zone; or (b) at the front of the development in the Commercial precinct of the Township zone if the development has been set back from the front boundary.
Access	
PO11 The development has safe, legal and practical access to a public road.	AO11 The development is provided with: (a) direct access to a gazetted road reserve; or (b) access to a gazetted road via a formal access arrangement registered on the title.
Access, Manoeuvring and Parking	
PO12 The proposed development accommodates sufficient car parking on site to meet the peak parking demand of the use at any point in time.	AO12 Car parking is provided at rates as per table 6.3.1.2.
PO13 The proposed driveway and/or invert crossings is clear of all impediments.	AO13 All invert crossings and driveways are clear of street furniture, gully pits, man holes, power poles, street trees and bus stops by a minimum distance of 1m.

Performance outcomes	Acceptable outcomes
PO14 The location of driveways does not create a danger to the safety and efficiency of existing intersections.	AO14.1 Driveway access is from the secondary lower order road where located on a corner allotment.
	AO14.2 The minimum distance of a driveway from an intersection of one street with another is 6m.
PO15 The design of access, parking and manoeuvring within the site: (a) is adequate for the type and volume of traffic generated by the use; (b) does not adversely impact on the traffic network external to the site; (c) caters for safe pedestrian access; (d) provides appropriate parking space/s and access for people with a disability.	AO15.1 Vehicle crossovers and driveways are designed in accordance with <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> .
	AO15.2 Disabled access is provided in accordance with the <i>Disability (Access to Premises – Buildings) Standards 2010</i> .
	AO15.3 Car parking and manoeuvring areas are designed in accordance with: (a) AS2890.1 – Parking Facilities; (b) Austroads AP-34/95 - Design Vehicles and Turning Path Templates.
Infrastructure and Services	
PO16 The development is supplied with an appropriate level of infrastructure to service the intended use.	AO16 Premises within the Township zone are connected to telecommunications and have electricity supply. OR In the Rural zone telecommunications and electricity supplies are provided and designed and installed to supplier standards.
PO17 All development has an adequate supply of potable water and can provide for appropriate treatment and disposal of effluent and other waste water.	AO17.1 In the Township zone, all development is connected to Council's reticulated water supply network in accordance with <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> ; OR In the Rural zone, a potable water supply is provided.
	AO17.2 An effluent disposal system is provided in accordance with ASNZ 1547 On-Site Domestic Wastewater Management (as amended).
PO18 Stormwater is collected and discharged to ensure no impacts on adjoining land owners, Council or State infrastructure, while also ensuring environmental values of waters in the shire are maintained.	AO18 Stormwater drainage is provided in accordance with <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> .
Council Assets	
PO19 Development does not adversely impact on Council infrastructure.	AO19 All proposed structures and buildings are clear of any Council easements and underground infrastructure located within the site boundaries.

Performance outcomes	Acceptable outcomes
	Note: Specific requirements are provided in the <i>Queensland Development Code (QDC) MP1.4 Building over or near relevant infrastructure</i> .
Air Services	
PO20 Private aviation facilities do not have an adverse impact on surrounding uses and are operated to minimise any unforeseen safety risk.	AO20 Non-medical helicopter landing pads within the Township zone are operational during daylight hours only.
Stock Route Network	
PO21 Development adjoining or near the stock route network (SPP mapping – Economic Growth, Agriculture, Stock Route Network) does not adversely impact on the size, operational efficiency and safety of any stock route or reserve in Etheridge Shire. Note: Pasturage rights exist where the mapped Stock Route Network adjoins an occupation licence or term lease for pastoral purposes. Section 432 of the <i>Land Act 1994</i> provides guidance on the extent to which the pasturage rights overlap the adjoining lease area in this instance. Note: Conditions required by a lease or permit relating to travelling stock, pastures for the use of depasturing travelling stock, or fencing, are complied with in accordance with the <i>Stock Route Management Act 2002</i> .	AO21.1 Any new access points across the stock route are limited to one (1) access per lot frontage of 200m and are not constructed in a way which inhibits movement of travelling stock. AO21.2 Where pasturage rights exist non-rural or residential activities are sited clear of the 800m designated pasturage rights area, located either side of an unsurveyed road /stock route.
Dual Occupancy and Multiple Dwellings	
PO22 The design, appearance and form of development for a Dual Occupancy or a Multiple Dwelling reflects a high standard and permanent form of accommodation that complements the character of existing residential development in Etheridge Shire. Editor's note: Dwellings having the appearance of relocatable dwellings or other temporary structures are discouraged and unlikely to meet this performance outcome. However, this provision is not intended to preclude creative or adaptive building design outcomes where exhibiting strong architectural merit and visual appeal.	AO22 The Dual Occupancy or Multiple Dwelling development complies with the following design parameters: (a) 6m setback from the primary road frontage for all buildings and structures; and if a corner site 3m setback from the secondary road frontage; (b) 2m setback from side and rear boundaries for all buildings and structures; (c) one (1) vehicular access to the site, unless a corner site and then maximum of two (2) driveways, each located a minimum of 6m from the corner boundary of the intersection to each street frontage; (d) car parking and services are located at the side or rear of the building; (e) buildings address the street and have the main entry or windows on the front facade.
For assessable development	
Building design and amenity	
PO23 New development retains the character and amenity of the area, including minimising or avoiding adverse impacts from: (a) heavy vehicle or traffic generation on residential roads; (b) reduction in visual amenity by way of layout of the premises and inappropriate presentation to the street;	AO23 No Acceptable outcome provided.

Performance outcomes	Acceptable outcomes
(c) emissions such as air pollutants, noise, stormwater run-off or other pollutants.	
Wastewater	
PO24 Wastewater discharge to a waterway is avoided or managed in a way that maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health.	AO24 Wastewater from development is not discharged to a waterway; OR Where wastewater discharge to a waterway is unavoidable, a Wastewater Management Plan (WWMP) is submitted and implemented which: (a) provides a waste management hierarchy that minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater; (b) is prepared by a suitably qualified person and addresses: i. wastewater type; ii. climatic conditions; iii. water quality objectives (WQOs); iv. best-practice environmental management.
Biodiversity	
PO25 Development: (a) identifies matters of state environmental significance as identified in SPP mapping – Environment and Heritage, Biodiversity; (b) avoids significant impacts on matters of national and state environmental significance; (c) protects and enhances ecological connectivity. Note: Where it is demonstrated that adverse impacts cannot be avoided or minimised, significant residual impacts on matters of state environmental significance may require an offset in accordance with the <i>Environmental Offsets Act 2014</i> .	AO25 Buildings, ancillary structures and all other development (other than linear infrastructure) are constructed: (a) at least 50m from the top bank of all water courses and the full supply level of storages; (b) a minimum of 100m from areas identified as Matters of State Environmental Significance (MSES) in SPP mapping – Environment and Heritage, Biodiversity.
Development Located in a Bushfire Prone Area as identified on SPP mapping – Natural Hazards, Risk and Resilience	
PO26 A vulnerable use is not established or materially intensified within a bushfire prone area unless there is an overriding need or other exceptional circumstances.	AO26 Vulnerable uses are not established or expanded within a bushfire prone area.
PO27 Emergency services and essential community infrastructure are able to function effectively during and immediately after a bushfire event.	AO27 Emergency services and essential community infrastructure are not located in a bushfire prone area.
PO28 Development is located and designed to incorporate a bushfire defensible space	AO28.1 No new development is located within the bushfire prone area;

Performance outcomes	Acceptable outcomes
from hazardous vegetation to facilitate access for firefighting and emergency vehicles, and safe evacuation to reduce risk to people and property.	<p>OR</p> <p>Development is separated from hazardous vegetation by a distance that achieves a radiant heat flux level at any point on the building or envelope respectively that does not exceed:</p> <p>(a) 10kW/m² where involving a vulnerable use; or</p> <p>(b) 29kW/m² otherwise.</p> <p>Note: The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959 – 2009 Construction of buildings in bushfire-prone areas. Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p>
	<p>AO28.2</p> <p>Buildings or building envelopes are separated from adjacent buildings or building envelopes by a distance of 8m or as far as practically possible</p>
<p>PO29</p> <p>Development in a bushfire prone area makes adequate provision of water supply for fire-fighting requirements.</p>	<p>AO29</p> <p>For Class 1 and Class 10a buildings located outside a reticulated water supply area a minimum water supply of 5,000 litres is available:</p> <p>(a) from a water tank with 50mm camlock fittings (ball and valve) or from a pool or dam;</p> <p>(b) at a pumpable distance for the Rural Fire Brigade from the development;</p> <p>OR</p> <p>For all other buildings located outside a reticulated water supply area no acceptable outcome is provided.</p>
<p>PO30</p> <p>Landscaping areas that are designated for re-vegetation or rehabilitation are designed and managed to ensure they do not have the ability to become a medium, high, or very high potential bushfire intensity area in the future.</p>	<p>AO30</p> <p>Landscaping treatments and areas designated for revegetation and rehabilitation are designed to achieve and maintain a:</p> <p>(a) potential available fuel load which is less than 5 tonnes/hectare in aggregate;</p> <p>(b) fuel structure which is discontinuous</p>
<p>PO31</p> <p>Development is not located on slopes and land forms that expose people or property to an intolerable risk to life or property.</p>	<p>AO31.1</p> <p>Development does not occur along ridgelines, saddles and crests where slopes exceed 14 degrees.</p>
	<p>AO31.2</p> <p>Development is located where the effective slope is less than 20 degrees downslope.</p>
Landslide	
<p>PO32</p> <p>Development is not situated where it may contribute to causing, or be at a risk of, a landslide.</p>	<p>AO32</p> <p>Development is not located directly at the bottom, or at the top edge of a ridgeline, or on slopes greater than 15%.</p>
Development Located in a Flood Hazard Area as identified in Schedule 2 - Mapping	
<p>PO33</p> <p>Development in a flood hazard area (as identified in Schedule 2 – Flood mapping) is designed and located to:</p> <p>(a) minimise potential economic impacts of flooding;</p>	<p>AO33.1</p> <p>The development is located in the mapped flood hazard area for Georgetown and can achieve a freeboard for all habitable rooms of 600mm above 291.07 AHD;</p> <p>OR</p> <p>The development is located outside of Georgetown and a flood study has been undertaken and determined a</p>

Performance outcomes	Acceptable outcomes
<p>(b) minimise potential flooding impacts on existing infrastructure;</p> <p>(c) maintain personal safety at all times with regards to siting, design and layout.</p> <p>Note: The defined flood level for the Georgetown Township zone is that of 291.07m AHD which has been derived from a 1% Annual Exceedance Probability (AEP) flood event.</p> <p>Note: The defined flood level for any site outside of the Georgetown Township zone is to be derived from a 1% Annual Exceedance Probability (AEP) flood event.</p>	<p>defined flood level for the development site based on a 1% Annual Exceedance Probability (AEP) flood event and:</p> <p>(a) the development site is located outside of the defined flood level;</p> <p>OR</p> <p>(b) all habitable rooms of the development are located a minimum of 600mm above the defined flood level and only non-habitable rooms (such as garages and laundries) are located on the ground floor/within the defined flood level.</p> <p>Note—The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. The use of floor area below the defined flood level for non-habitable use is acceptable (such as for storage, car garaging, laundries) where residents are aware of the risk of loss of property from flood inundation and the possible implications for increased insurance premiums. It is acceptable for a slab to be placed underneath a high-set dwelling for non-habitable purposes.</p> <p>Note—Higher density residential development should also ensure only non-habitable rooms (e.g. garages laundries) are located on the ground floor.</p> <p>AO33.2</p> <p>There is at least one (1) evacuation route that achieves safe egress for emergency evacuations during all floods.</p> <p>(a) The development maintains the protective function of landforms and vegetation to lessen the flood risk.</p> <p>AO33.3</p> <p>The development maintains the protective function of landforms and vegetation to lessen the flood risk.</p>
<p>PO34</p> <p>Emergency services and essential community infrastructure are able to function effectively during and immediately after a flood event.</p>	<p>AO34</p> <p>Emergency services and community infrastructure are not located in a flood hazard area (as identified in Schedule 2 – Flood mapping);</p> <p>OR</p> <p>Emergency services and community infrastructure are located in a flood hazard area (as identified in Schedule 2 – Flood mapping) and:</p> <p>(a) a flood study has been undertaken and determined a defined flood level for the development site;</p> <p>(b) the development is located above the defined flood level and able to continue functioning during a flood event.</p>
<p>PO35</p> <p>Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential for flood damage either on-site or on other properties.</p>	<p>AO35</p> <p>Where development is located in a flood hazard area on the flood hazard maps (as identified in Schedule 2 – Flood mapping):</p> <p>(a) A flood study determines the development site is located outside of the defined flood level;</p> <p>OR</p> <p>(b) A hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development:</p> <ol style="list-style-type: none"> maintains the flood storage capacity on the subject site; does not increase the volume, velocity, concentration or flow path alignment of

Performance outcomes	Acceptable outcomes
	stormwater flow across sites upstream, downstream or in the general vicinity of the subject site.
Waterways	
PO36 Development does not result in adverse impacts on water quality, fish habitat and riparian vegetation so as to protect waterway and fisheries values.	AO36 No Acceptable outcome provided.
Local Heritage as identified in Schedule 3 – Etheridge Heritage Places	
PO37 Development maintains the values and cultural heritage significance of local heritage places, and: (a) minimises and mitigates detrimental impacts on cultural heritage significance; (b) provides opportunities for public appreciation cultural heritage significance; (c) where adaptive reuse of a local heritage place is proposed, is compatible with ongoing conservation management of a local heritage place.	AO37.1 Development conserves and does not alter, damage, remove or conceal significant features, fabric or contents of the local heritage place; OR A Heritage Impact Statement prepared by a suitably qualified person demonstrates how the development mitigates and minimises detrimental impacts on cultural heritage significance and supports ongoing conservation management of the local heritage place.
	AO37.2 An archival quality photographic record is made of the features of the place that are destroyed because of the development; and the record meets the standards outlined in the Archival recording of heritage registered places guideline, Department of Environment and Heritage Protection, 2013.
PO38 Development does not result in the demolition or removal of a local heritage place.	AO38 The place's cultural heritage significance is retained; OR Where there is no feasible or prudent alternative to partial demolition or removal of the place: (a) a report is provided that demonstrates there is no prudent and feasible alternative to the substantial demolition of the local heritage place or its removal to another location; (b) an archival record is prepared to document the changes. Editor's note: the report must be prepared by suitably qualified consultants, such as conservation architects or engineers, and detail alternative options investigated.
PO39 Where open space, or the relationship between buildings and open space contributes to the significance of the local heritage place, development maintains or enhances the significance of the setting, including views, circulation, access, spatial patterns and layout of the local heritage place or area.	AO39 No Acceptable outcome provided.
PO40 Buildings and structures on the site of, or adjacent to, a local heritage place are	AO40.1 The front setback of the development is in equal distance or greater than the setback of the local heritage place.

Performance outcomes	Acceptable outcomes
setback from the front, side and rear boundaries in a manner that complements, and does not encroach upon, on the heritage place.	AO40.2 The side and rear setbacks of the development are a minimum distance of 2m.
PO41 Development on a local heritage place with identified archaeological potential avoids or appropriately manages detrimental impacts on artefacts.	AO41 Development in areas not previously disturbed by excavation is in accordance with an archaeological investigation and management plan prepared by a suitably qualified person and approved by the local government.
Aboriginal cultural heritage	
<p>Editor's notes: All development must comply with the <i>Aboriginal Cultural Heritage Act 2003</i> and the obligations of the <i>Native Title Act 1993</i>. Refer to Schedule 4 - Aboriginal Cultural Significance Planning Scheme Policy for further direction on how to comply with these Acts.</p> <p>Exercising a duty of care under the <i>Aboriginal Cultural Heritage Act 2003</i> is particularly relevant where development is proposed on land containing Aboriginal cultural heritage values and involves surface disturbance beyond that which has already occurred.</p> <p>Some areas containing places of Ewamian People's cultural significance near Georgetown are shown on planning scheme policy map PM-1 Areas of Cultural Significance. Many more Aboriginal cultural heritage areas and sites can be found throughout Etheridge Shire which may not be recorded publicly. Some of these are included on a cultural heritage database (managed by the Department of Aboriginal and Torres Strait Islander Peoples) and some remain unidentified.</p>	
Air Services	
PO42 Development does not interfere with the function of air services. Note: A development proposal on land located within a building restricted area must be assessed as outlined in National Airports Safeguarding Framework (NASF) Principles and Guidelines – Guideline G, Attachment 3. Referral to Airservices Australia or Department of Defence may be required.	AO42.1 Development located within the building restriction area of an aviation facility (as identified on SPP mapping – Infrastructure – Strategic Airports and Aviation Facilities – Aviation facility) does not create: (a) permanent or temporary physical obstructions in the line of sight between antenna; (b) an electrical or electromagnetic field that interferes with the signals transmitted by the facility; (c) reflective surfaces that could deflect or interfere with signals transmitted by the facility; OR Development complies with this performance outcome where written confirmation from Air Services Australia confirms that the development will not impair the functioning of the aviation facility.
	AO42.2 Development and associated activities must not: (a) create an intrusion into an airport's operational airspace, unless the intrusion is approved in accordance with the relevant legislation; (b) include a light source or reflective surfaces that could distract or confuse pilots approaching the airport to land; (c) cause emissions which significantly increase air turbulence, reduce visibility or compromise the operation of aircraft engines; (d) attract wildlife or increase wildlife hazards to the operational airspace of the airport or the airport land; (e) increase the number of people living, working or congregating in the Public Safety Area; (f) involve the manufacture, use or storage of flammable, explosive, hazardous or noxious materials in the Public Safety Area.

Performance outcomes	Acceptable outcomes
Non-resident workforce accommodation (NRWA)	
PO43 The location of NRWA does not adversely affect existing industrial, residential and commercial uses, and maintains the amenity of the locality.	AO43 All buildings are set back: (a) a minimum of 15m from all side boundaries; (b) a minimum of 25m from the front and rear boundaries.
PO44 The location of the NRWA: (a) enables convenient access to a major road network and to township services and facilities where the use is able to support the economic development of the town; (b) supports the long-term development of infrastructure in Etheridge Shire.	AO44 No Acceptable outcome provided.
PO45 The layout of NRWA buildings does not substantially detract from the character of the area through overdevelopment of the site.	AO45 Buildings and ancillary facilities occupy no more than 25% of the site area.
PO46 The NRWA is connected to infrastructure required for the use including; water supply, waste water disposal, stormwater control, telecommunications and electricity. (Where Council infrastructure is available, this is required in lieu of on-site infrastructure.)	AO46 No Acceptable outcome provided.
PO47 NRWA buildings and waste disposal areas are screened and landscaped from site boundaries.	AO47 No Acceptable outcome provided.

Table 6.3.1.2: Car Parking Requirements

Use	Requirements
Tourist park	1 space per site, plus 1 extra space for every 3 sites.
Caretakers accommodation	1 space
Child care centre	1 space for every employee and 1 space for every 4 children.
Commercial activities Community activities	1 space per 50m ² of gross floor area.
Dual occupancy Multiple dwelling Retirement facility Residential care facility	1 covered space for every 2 bedrooms, plus 1 space for every additional bedroom.
Industrial uses	1 space per 100m ² of gross floor area for the first 1000m ² and 1 additional space per 200m ² of gross floor area exceeding 1000m ² .
Non-resident workforce accommodation	1 space per unit plus 1 visitor space per every 5 units.
Residential premises (excluding dual occupancy and multiple dwelling)	1 covered space per dwelling unit.
Agricultural supplies store Bulk landscape supplies Outdoor sales	Where a building 1 space per 100m ² of gross floor area.
Service station	1 space per 50m ² gross floor area.
Short-term accommodation	1 space per guestroom or suite, 1 additional space per 30m ² of gross dining area, and 1 space per employee.
All other uses	Sufficient spaces to accommodate the amount of vehicle traffic likely to be generated by the particular use.

6.4 Other development codes

6.4.1 Operational work code

This code applies to assessing operational work applications when identified in the tables of assessment.

The purpose of the code will be achieved through the following overall outcomes:

- (1) Operational work involving excavating and filling land
 - (a) Minimises site disturbance;
 - (b) Controls water and sediment runoff;
 - (c) Avoids increasing any flooding risks;
 - (d) Once work is complete, the site is rehabilitated to a safe stable area that does not cause further erosion and safety issues;
- (2) Advertising devices are of a size and in locations that complement the heritage and character of the township and considers public safety;
- (3) Biodiversity values and ecological connectivity are protected, maintained and enhanced;
- (4) Impacts on the archaeological potential of sites are considered and managed;
- (5) Levees are constructed in accordance with the applicable State Code.

Editor's note—For requirements for accepted development for category 1 levees, refer to the '[Self-assessable code for the construction or modification of levees](#)' made by the chief executive of the *Water Act 2000* and published by the Department of Natural Resources, Mines and Energy. In relation to the construction or modification of category 2 and 3 levees, refer to the *Water Regulation 2016*, which includes at Schedule 10, Code for assessment and development for construction or modification of particular levees. This code should be read together with the '[Guidelines for the construction or modification of category 2 and 3 levees](#)' published by the Department of Natural Resources, Mines and Energy. For more information regarding the regulation of levees, visit: <https://www.business.qld.gov.au/industries/mining-energy-water/water/authorisations/constructing-modifying-levee-banks>

Table 6.4.1.1 Assessment benchmarks - operational work

Performance outcomes	Acceptable outcomes
For assessable development	
Site Layout	
PO1 Operations do not adversely impact adjoining properties, environmental features or the locality and minimise: <ol style="list-style-type: none"> (a) changes to adjoining land and natural features; (b) changes to surface and groundwater; (c) impacts from noise, dust, silt, or other noxious emissions. 	AO1 Excavation or filling: <ol style="list-style-type: none"> (a) does not exceed 1.5m in depth or 1.5m in height (except for excavation for building work); (b) ensures the fill or excavation line is not closer than 2m from an adjoining property boundary; (c) ensures no ponding develops on adjacent land at any time; (d) restores all surfaces exposed or damaged by the operations immediately on conclusion of the works to their original standard; (e) ensures works are a minimum 100m from wetlands and 200m from rivers, creeks and streams.

Performance outcomes	Acceptable outcomes
PO2 Operational work or the construction activities for the development avoid or minimise adverse impacts on stormwater quality.	AO2 An erosion and sediment control plan (ESCP) is prepared by a suitably qualified person which demonstrates that release of sediment-laden stormwater is: <ul style="list-style-type: none"> (a) avoided for the nominated design storm; and (b) minimised when the nominated design storm is exceeded, by addressing design objectives listed in <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> or local equivalent, for: <ul style="list-style-type: none"> (i) drainage control; (ii) erosion control; (iii) sediment control; (iv) water quality outcomes.
Vegetation clearing	
PO3 Development: <ul style="list-style-type: none"> (a) identifies matters of state environmental significance as identified in SPP mapping – Environment and Heritage, Biodiversity; (b) facilitates the protection and enhancement of matters of state environmental significance; (c) protects and enhances ecological connectivity. 	AO3 No Acceptable outcome provided.
Development Located in a Flood Hazard Area as identified in Schedule 2 - Mapping	
PO4 Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential for flood damage on-site or on other properties. <p>Editor's Note—To adequately assess the impacts of development on flooding regimes, applicants may need to have a hydrological and hydraulic assessment carried out by a suitably qualified and experienced hydrologist or engineer.</p>	AO4 Development for earthworks located in the flood hazard area on the flood hazard maps (as identified in Schedule 2 – Flood mapping): <ul style="list-style-type: none"> (a) does not result in any reductions of onsite flood storage capacity and contains within the subject site any changes to depth / duration / velocity of flood waters; OR <ul style="list-style-type: none"> (b) does not change flood characteristics outside the subject site in ways that result in: <ul style="list-style-type: none"> i. loss of flood storage; or ii. loss of/changes to flow paths; or iii. acceleration or retardation of flows or any reduction in flood warning times elsewhere on the floodplain; OR <ul style="list-style-type: none"> (c) a flood study demonstrates the development site is above the defined flood level (prefilling).

6.4.2 Reconfiguring a lot code

This code applies to assessing reconfiguring a lot applications when identified in the tables of assessment.

The purpose of the reconfiguring a lot code is to:

- (1) Facilitate the creation of lots to a size and dimension that allows the zones and precincts to achieve the intended use;
- (2) Ensure that future lots are resilient from the impacts of flood and bushfire;
- (3) Minimise and mitigate impacts on cultural heritage, water quality, and on the biodiversity values of an area;
- (4) Ensure reconfiguring of lots does not adversely impact on the shire's economy.

The purpose of the code will be achieved through the following overall outcomes:

- (1) Reconfiguration creates safe, functional and suitable lots that are consistent with the existing zone and precinct intent;
- (2) Reconfiguration ensures the protection of the stock route network;
- (3) Reconfiguration does not lead to a loss of biodiversity and ecological connectivity;
- (4) Reconfiguration ensures the environmental values and quality of Queensland waters are protected and enhanced;
- (5) Reconfiguration helps protect local heritage places;
- (6) Rural land is protected from fragmentation that would result in diminished productivity.

Table 6.4.2.1 Assessment benchmarks – reconfiguring a lot

Performance outcomes	Acceptable outcomes
Lot size	
PO1 The proposed lots are of a size and dimension to meet the outcomes for development in the Township zone and precincts in respect of: <ol style="list-style-type: none"> (a) achieving a safe and pleasant residential environment in the Residential and Rural residential precincts; (b) consistency with the nature and layout of existing subdivision patterns; (c) providing a variety of lot sizes for residential living, industry and commerce. 	AO1 Lot dimensions comply with Table 6.4.2.2
PO2 The proposed lots are of a size and dimension to meet the outcomes for development in the Rural zone in respect of: <ol style="list-style-type: none"> a) preserving land for broad scale grazing, agriculture, animal production and environmental conservation; b) minimising fragmentation. 	AO2 Lot dimensions comply with Table 6.4.2.2 OR Smaller lot dimensions in the Rural zone may be acceptable if a report prepared by a suitably qualified person can demonstrate that viable agriculture can occur on site.
PO3 The proposed lots will not lead to diminished productivity of rural land or compromise the long-term viability of rural activities on the land.	AO3 No Acceptable Outcome provided.

Performance outcomes	Acceptable outcomes
Structure Plans	
Additional requirements for:	
(a) a site which is more than 5ha in any zone; and	
(b) involves the creation of new roads and/or public use land.	
Note - This part is to be read in conjunction with the other parts of the code	
PO... A structure plan is prepared to ensure that the lot layout, street network, environmental corridors and open space areas are appropriately integrated with the surroundings and existing infrastructure.	AO... No Acceptable Outcome provided.
PO... Lot reconfiguration integrates major electricity infrastructure and substations within the overall layout. In particular, the design:	AO... No Acceptable Outcome provided.
(a) ensures land of sufficient size and suitability is allocated to accommodate the existing and future electricity infrastructure network;	
(b) minimises the likely visual prominence of electricity infrastructure;	
(c) minimises the potential for nuisance, or other health and safety impacts on surrounding uses.	
PO... The structure plan includes an indicative future road layout, which integrates with existing road infrastructure, environmental corridors and open space, and facilitates the orderly and sequential development of appropriately zoned land.	AO... No Acceptable Outcome provided.

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Performance outcomes	Acceptable outcomes
Stormwater	
PO4 Reconfiguration of a lot in the Township zone is planned, designed, constructed and managed to avoid: <ul style="list-style-type: none"> (a) adverse impacts on surrounding development; (b) compromising the natural health and functioning of adjoining waters. 	AO4 A site stormwater quality management plan (SQMP) is prepared and implemented, which provides for achievable stormwater quality treatment measures meeting design objectives listed in <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> .
Roads	
PO5 Roads are constructed and upgraded to provide for the safe and efficient movement of: <ul style="list-style-type: none"> (a) pedestrians and cyclists; (b) vehicles to and from the site; (c) access for emergency vehicles. 	AO5.1 New road infrastructure is designed and constructed in accordance with <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> .
	AO5.2 Any pre-existing roads part of and within the development site are upgraded to the standards detailed in <i>'Far North Queensland Regional Organisation of Councils (FNQROC) Regional Development Manual'</i> .
Biodiversity	
PO6 The creation of new lots avoids significant adverse impacts on the shire's important biodiversity (identified in SPP mapping – Environment and Heritage, Biodiversity) and maintains and enhances ecological connectivity.	AO6 No Acceptable Outcome provided.
Development Located in a Flood Hazard Area as identified in Schedule 2 - Mapping	
PO7 Lot design in areas of flood hazard: <ul style="list-style-type: none"> (a) maintains personal safety and minimises property impacts at all times, through siting and layout of lots and access; (b) provides safe egress to all building areas in flood emergencies. <p>Note: The defined flood level for the Georgetown Township zone is that of 291.07m AHD which has been derived from a 1% Annual Exceedance Probability (AEP) flood event.</p> <p>Note: The defined flood level for any site outside of the Georgetown Township zone is to be derived from a 1% Annual Exceedance Probability (AEP) flood event.</p>	AO7.1 Reconfiguration on land identified as containing a flood hazard area (as identified in Schedule 2 – Mapping) is sited and designed so that: <ul style="list-style-type: none"> (a) all new lots contain a building envelope located outside of the mapped flood hazard area; OR (b) if located in the mapped flood hazard area and in the Georgetown Township zone all habitable rooms can achieve a freeboard of 600mm above 291.07 AHD; OR (c) A flood study determines that all habitable rooms within the building envelope can be located above the defined flood level.
	AO7.2 There is a least one (1) evacuation route that achieves safe egress for emergency evacuations during all floods.

Performance outcomes	Acceptable outcomes
Local heritage places	
PO8 Development: (a) maintains lot sizes and a layout that permits viable adaptive reuse or conservation of local heritage places; (b) does not result in a local heritage place being obscured from public view; (c) does not obscure or destroy a pattern of subdivision where this characteristic contributes to the cultural heritage significance of the local heritage place; (d) does not reduce public access to the place or area.	AO8 No Acceptable outcome is provided.
Bushfire	
PO9 Non-rural development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.	AO9 The lot layout: (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. Editor's notes: For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots. In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan". Advice from the Queensland Fire and Emergency Services should be sought as appropriate.
PO10 Reconfiguring a lot provides a constructed perimeter road or a formed fire trail between the lot or building envelope and the hazardous vegetation and is readily accessible at all times for the type of fire-fighting vehicles servicing the area.	AO10 Lot boundaries or building envelopes are separated from hazardous vegetation by a public road or a fire trail which has the following characteristics: (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m and no less than 4.8m vertical clearance, with 3m each side cleared of all flammable vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) can accommodate a 10 tonne vehicle; (e) turning areas and vertical clearances for firefighting appliances in accordance with Queensland Fire and Emergency Services' Fire hydrant and vehicle access guidelines for residential, commercial and industrial lots; (f) access granted in favour of Council and Queensland Fire and Emergency Services; (g) allows and does not impede access for firefighting and maintenance for firefighting purposes.

Performance outcomes	Acceptable outcomes
Stock Route Network	
PO11 The stock route network identified in SPP mapping – Economic Growth, Agriculture, Stock Route Network, is protected from incompatible development. Note: Pasturage rights exist where the mapped Stock Route Network adjoins a term lease for pastoral purposes. Section 432 of the Land Act 1994 provides guidance on the extent to which the pasturage rights overlap the adjoining lease area in this instance.	AO11 No new allotments are created within or adjacent to the stock route network; OR Proposed lots fronting a stock route are large enough to ensure any development can be sited a minimum of 800m clear of the stock route and any new access points across the stock route are limited to one (1) access per lot frontage of 200m.

Table 6.4.2.2 – Acceptable outcomes for lot sizes and frontages

Zone/Precinct	Minimum lot size	Minimum road frontage
Rural zone	25000ha	N/A
Township zone (excluding precincts)	800m ²	20m
Commercial precinct	400m ²	15m
Industrial precinct	1000m ²	30m
Residential precinct	800m ²	20m
Rural Residential precinct	1ha	40m

Schedule 1—Definitions

SC1.1 Use definitions

- (1) Use definitions have specific meanings in the planning scheme and are defined in the Regulation.
- (2) Any use not listed in table SC1.1.2 column 1 is an undefined use.
Note—Development comprising a combination of defined uses is not considered to be an undefined use.
- (3) A use listed in table SC1.1.2, column 1 has the meaning set out beside that term in column 2.
- (4) The use definitions listed here are the definitions used in this planning scheme.
- (5) Column 3 of Table SC1.1.2 identifies examples of the types of activities that are consistent with the use identified in column 1.
- (6) Column 4 of Table SC1.1.2 identifies examples of activities that are not consistent with the use identified in column 1.
- (7) Columns 3 and 4 of Table SC1.1.2 are not exhaustive lists.
- (8) Uses listed in Table SC1.1.2 columns 3 and 4 that are not listed in column 1, do not form part of the definition.

Table SC1.1.1 Index of use definitions

Index of use definitions		
Adult store	Hardware and trade supplies	Place of worship
Agricultural supplies store	Hazardous chemical facility	Port service
Air service	Health-care service	Relocatable home park
Animal husbandry	High-impact industry	Renewable energy facility
Animal keeping	Home-based business	Research and technology industry
Aquaculture	Hospital	Residential care facility
Bar	Hotel	Resort complex
Brothel	Indoor sport and recreation	Retirement facility
Bulk landscape supplies	Intensive animal husbandry	Roadside stall
Caretaker's accommodation	Intensive horticulture	Rooming accommodation
Car wash	Landing	Rural industry
Cemetery	Low-impact industry	Rural workers' accommodation
Child care centre	Major electricity infrastructure	Sales office
Club	Major sport, recreation and entertainment facility	Service industry
Community care centre	Marine industry	Service station
Community residence	Market	Shop
Community use	Medium-impact industry	Shopping centre
Crematorium	Motor sport facility	Short-term accommodation
Cropping	Multiple dwelling	Showroom
Detention facility	Nature-based tourism	Special industry
Dual occupancy	Nightclub entertainment facility	Substation
Dwelling house	Non-resident workforce accommodation	Telecommunications facility
Dwelling unit	Office	Theatre
Educational establishment	Outdoor sales	Tourist attraction
Emergency services	Outdoor sport and recreation	Tourist park
Environment facility	Outstation	Transport depot
Extractive industry	Park	Utility installation
Food and drink outlet	Parking station	Veterinary service
Function facility	Permanent plantation	Warehouse
Funeral parlour		Wholesale nursery
Garden centre		Winery

Table SC1.1.2 – Use definitions as per the regulated requirements in the Regulation

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Adult store	Adult store means the use of premises for the primary purpose of displaying or selling— (a) sexually explicit materials; or (b) products and devices that are associated with, or used in, a sexual practice or activity.	Sex shop	Shop, newsagent, registered pharmacist or video hire, where the primary use of these are concerned with: <ul style="list-style-type: none"> the sale, display or hire of printed or recorded matter (not of a sexually explicit nature); or the sale or display of underwear or lingerie; or the sale or display of an article or thing primarily concerned with or used in association with a medically recognised purpose.
Agricultural supplies store	Agricultural supplies store means the use of premises for the sale of agricultural supplies and products.	Animal feed, bulk veterinary supplies, chemicals, farm clothing, fertilisers, irrigation materials, saddlery, seeds	Bulk landscape supplies, garden centre, outdoor sales wholesale nursery
Air service	Air service means the use of premises for— (a) the arrival or departure of aircraft; or (b) housing, servicing, refuelling, maintaining or repairing aircraft; or (c) the assembly and dispersal of passengers or goods on or from an aircraft; or (d) training and education facilities relating to aviation; or (e) aviation facilities; or (f) an activity that— <ul style="list-style-type: none"> (i) is ancillary to an activity or facility stated in paragraphs (a) to (e); and (ii) directly services the needs of aircraft passengers. 	Airport, air strip, helipad, public or private airfield	
Animal husbandry	Animal husbandry means the use of premises for— (a) producing animals or animal products on native or	Cattle studs, grazing of livestock, non-feedlot dairying	Animal keeping, intensive animal husbandry, aquaculture, feedlots,

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	improved pastures or vegetation; or (b) a yard, stable, temporary holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a)		piggeries
Animal keeping	Animal keeping means the use of premises for— (a) boarding, breeding or training animals; or (b) a holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a).	Aviaries, catteries, kennels, stables, wildlife refuge	Aquaculture, cattle studs, domestic pets, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, animal husbandry
Aquaculture	Aquaculture means the use of premises for cultivating, in a confined area, aquatic animals or plants for sale.	Pond farms, tank systems, hatcheries, raceway system, rack and line systems, sea cages	Intensive animal husbandry
Bar	Bar means the use of premises, with seating for 60 or less people, for— (a) selling liquor for consumption on the premises; or (b) an entertainment activity, or preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a).		Club, hotel, nightclub entertainment facility, tavern
Brothel	Premises made available for prostitution by two or more prostitutes at the premises. Note — See the <i>Prostitution Act 1999</i> , schedule 4.		Adult store, club, nightclub entertainment facility, shop
Bulk landscape supplies	Bulk landscape supplies means the use of premises for the bulk storage and sale of mainly non-packaged landscaping and gardening supplies, including for example, soil, gravel, potting mix or mulch.		Garden centre, outdoor sales, wholesale nursery
Caretaker's accommodation	Caretaker's accommodation means the use of premises for a dwelling for a caretaker of a non-residential use on the same premises.		Dwelling house
Car wash	Car wash means the use of premises for the commercial cleaning of motor vehicles.		Service station

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Cemetery	Cemetery means the use of premises for the interment of bodies or ashes after death.	Burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum	Crematorium, funeral parlour
Childcare centre	Childcare centre means the use of premises for the care, education and minding, but not residence, of children.	Before or after school care, crèche, early childhood centre, kindergarten, vacation care	Educational establishment, home based child care, family day care
Club	Club means the use of premises for— (a) an association established for social, literary, political, sporting, athletic or other similar purposes; or (b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).	Club house, guide and scout clubs, surf lifesaving club, RSL, bowls club	Hotel, nightclub entertainment facility, place of worship, theatre
Community care centre	Community care centre— (a) means the use of premises for— (i) providing social support to members of the public; or (ii) providing medical care to members of the public, if the use is ancillary to the use in subparagraph (i); but (b) does not include the use of premises for providing accommodation to members of the public.	Disability support services, drop in centre, respite centre, integrated indigenous support centre	Child care centre, family day care, home based child care, health care services, residential care facility
Community residence	Community residence— (a) means the use of premises for residential accommodation for— (i) no more than— A. 6 children, if the accommodation is provided as part of a program or service under the <i>Youth Justice Act 1992</i> ; or B. 6 persons who require assistance or support with daily living needs; and (ii) no more than 1 support worker; and (b) includes a building or structure that is reasonably associated with the use in paragraph (a).	Hospice	Dwelling house, dwelling unit, residential care facility, rooming accommodation, short-term accommodation

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Community use	Community use means the use of premises for— (a) providing artistic, social or cultural facilities or community services to the public; or (b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a)	Art gallery, community centre, community hall, library, museum	Cinema, club, hotel, nightclub entertainment facility, place of worship
Crematorium	Crematorium means the use of premises for the cremation or aquamation of bodies.		Cemetery
Cropping	Cropping means the use of premises for— (a) growing and harvesting plants, or plant material, that are cultivated in soil, for commercial purposes; or (b) harvesting, storing or packing plants or plant material grown on the premises, if the use is ancillary to the use in paragraph (a); or (c) repairing and servicing machinery used on the premises, if the use is ancillary to the use in paragraph (a).	Fruit, nut, vegetable and grain production, forestry for wood production, fodder and pasture production, plant fibre production, sugar cane growing, vineyard	Permanent plantations, intensive horticulture, rural industry
Detention facility	Detention facility means the use of premises for the lawful detention of persons.	Correctional facility, detention centre, prison, youth detention centre	Police station, court cell complex
Dual occupancy	Dual occupancy — (a) means a residential use of premises for two households involving— (i) 2 dwellings (whether attached or detached) on a single lot, or 2 dwellings (whether attached or detached) on separate lots that share a common property; and (ii) any domestic outbuilding associated with the dwellings. (b) does not include a residential use of premises that involves a secondary dwelling.	Duplex, two dwellings on a single lot (whether or not attached), two dwellings within one single community title scheme under the <i>Body Corporate and Community Management Act 1997</i> , two dwellings within the one body corporate to which the <i>Building Units and Group Title Act 1980</i> continues to apply	Dwelling house, multiple dwelling
Dwelling house	Dwelling house means a residential use of premises involving— (a) 1 dwelling for a single		Caretaker's accommodation, dual occupancy, rooming accommodation, short-term accommodation,

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	household and any domestic outbuildings associated with the dwelling; or (b) 1 dwelling for a single household, a secondary dwelling, and any domestic outbuildings associated with either dwelling.		student accommodation, multiple dwelling
Dwelling unit	Dwelling unit means the use of premises containing a non-residential use for a single dwelling, other than a dwelling for a caretaker of the non-residential use.	'Shop-top' apartment	Caretaker's accommodation, dwelling house
Educational establishment	Educational establishment means the use of premises for— (a) training and instruction to impart knowledge and develop skills; or (b) student accommodation, before or after school care, or vacation care, if the use is ancillary to the use in paragraph (a).	College, outdoor education centre, preparatory school, preparatory school, primary school, secondary school, special education facility, technical institute, university	Child care centre, home based child care, family day care
Emergency services	Emergency services means the use of premises by a government entity or community organisation to provide— (a) essential emergency services; or (b) disaster management services; or (c) management support facilities for the services.	Ambulance station, auxiliary fire and rescue station, emergency management support facility, evacuation centres, police station, rural fire brigade, State emergency service facility, urban fire and rescue station	Community use, hospital, residential care facility
Environment facility	Environment facility — (a) means the use of premises for a facility for the appreciation, conservation or interpretation of an area of cultural, environmental or heritage value; but (b) does not include the use of premises to provide accommodation for tourists and travellers.	Nature-based attractions, walking tracks, seating, shelters, boardwalks, observation decks, bird hides	
Extractive industry	Extractive industry means the use of premises for— (a) extracting or processing extractive resources; and (b) any related activities, including, for example, transporting the resources to market.	Quarry	

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Food and drink outlet	Food and drink outlet means the use of premises for— (a) preparing and selling food and drink for consumption on or off the premises; or (b) providing liquor for consumption on the premises, if the use is ancillary to the use in paragraph (a).	Bistro, café, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, take-away shop, tearoom	Bar, club, hotel, shop, theatre, nightclub entertainment facility
Function facility	Function facility means the use of premises for— (a) receptions or functions; or (b) preparing and providing food and liquor for consumption on the premises as part of a reception or function.	Conference centre, reception centre	Community use, hotel
Funeral parlour	Funeral parlour — (a) means the use of premises for— (i) arranging and conducting funerals, memorials and other similar events; or (ii) a mortuary; or (iii) storing and preparing bodies for burial or cremation; but (b) does not include the use of premises for the burial or cremation of bodies.		Cemetery, crematorium, place of worship
Garden centre	Garden centre means the use of premises for— (a) selling plants; or (b) selling gardening and landscape products and supplies that are mainly in pre-packaged form; or (c) a food and drink outlet is ancillary to the use in paragraph (a).	Retail plant nursery	Bulk landscape supplies, wholesale nursery, outdoor sales
Hardware and trade supplies	Hardware and trade supplies means the use of premises for selling, displaying or hiring hardware and trade supplies, including, for example, house fixtures, timber, tools, paint, wallpaper or plumbing supplies.	Hardware store	Shop, showroom, outdoor sales and warehouse
Health care service	Health care service means the use of premises for medical purposes, paramedical purposes, alternative health therapies or general health care, if overnight accommodation is not provided on the premises.	Dental clinics, medical centre, natural medicine practice, nursing service, physiotherapy clinic	Community care centre, hospital

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
High impact industry	<p>High impact industry means the use of premises for an industrial activity—</p> <ul style="list-style-type: none"> (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and (b) that a local planning instrument applying to the premises states is a high impact industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity. 	<p>Abattoirs, concrete batching plant, boiler making and engineering and metal foundry</p> <p>Note — Additional examples may be shown in SC1.1.3 Industry thresholds.</p>	<p>Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers, service industry, low impact industry, medium impact industry, special industry</p>
Home-based business	<p>Home-based business means the use of a dwelling or domestic outbuilding on premises for a business activity that is subordinate to the residential use of the premises.</p>	<p>Bed and breakfast, home office, home based child care</p>	<p>Hobby, office, shop, warehouse, transport depot</p>
Hospital	<p>Hospital means the use of premises for—</p> <ul style="list-style-type: none"> (a) the medical or surgical care or treatment of patients, whether or not the care or treatment requires overnight accommodation; or (b) providing accommodation for patients; or (c) providing accommodation for employees, or any other use, if the use is ancillary to the use in paragraph (a) or (b). 		<p>Health care services, residential care facility</p>
Hotel	<p>Hotel—</p> <ul style="list-style-type: none"> (a) means the use of premises for— <ul style="list-style-type: none"> (i) selling liquor for consumption on the premises; or (ii) a dining or entertainment activity, or providing accommodation to tourists or travellers, if the use is ancillary to the use in subparagraph (i); but (b) does not include a bar. 	<p>Pub, tavern</p>	<p>Bar, nightclub entertainment facility</p>

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Indoor sport and recreation	Indoor sport and recreation means the use of premises for a leisure, sport or recreation activity conducted wholly or mainly indoors.	Amusement parlour, bowling alley, enclosed tennis court, gymnasium, squash courts	Cinema, hotel, nightclub entertainment facility, theatre
Intensive animal industry	Intensive animal industry— (a) means the use of premises for— (i) the intensive production of animals or animal products, in an enclosure, that requires food and water to be provided mechanically or by hand; or (ii) storing and packing feed and produce, if the use is ancillary to the use in subparagraph (i); but (b) does not include the cultivation of aquatic animals.	Feedlots, piggeries, poultry and egg production	Animal husbandry, aquaculture, drought feeding, milking sheds, shearing sheds, weaning pens
Intensive horticulture	Intensive horticulture— (a) means the use of premises for— (i) the intensive production of plants or plant material carried out indoors on imported media; or (ii) the intensive production of plants or plant material carried out outside using artificial lights or containers; or (iii) storing and packing plants or plant material grown on the premises, if the use is ancillary to the use in subparagraph (i) or (ii); but (b) does not include the cultivation of aquatic plants.	Greenhouse, and shade house plant production, hydroponic farm, mushroom farm	Wholesale nursery
Landing	Landing means the use of premises for a structure— (a) for mooring, launching, storing and retrieving vessels; and (b) from which passengers embark and disembark.	Boat ramp, jetty, pontoon	Marina
Low impact industry	Low impact industry means the use of premises for an industrial activity— (a) that is the manufacturing, producing, processing, repairing, altering, recycling,	Repairing motor vehicles, fitting and turning workshop Note — Additional examples may be shown in SC1.1.3 Industry thresholds.	Panel beating, spray painting or surface coating, tyre recycling, drum re-conditioning, wooden and laminated product manufacturing,

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>storing, distributing, transferring or treating of products; and</p> <p>(b) that a local planning instrument applying to the premises states is a low impact industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p>		<p>service industry, medium impact industry, high impact industry, special industry</p>
Major electricity infrastructure	<p>Major electricity infrastructure—</p> <p>(a) means the use of premises for—</p> <p>(i) a transmission grid or supply network; or</p> <p>(ii) a telecommunication facility, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include the use of premises for a supply network or private electricity works stated in schedule 6, section 26(5), unless the use involves—</p> <p>(i) a new zone substation or bulk supply substation; or</p> <p>(ii) the augmentation of a zone substation or bulk supply substation that significantly increases the input or output standard voltage.</p>	Powerlines greater than 66kV	Minor electricity infrastructure, substation
Major sport, recreation and entertainment facility	<p>Major sport, recreation and entertainment facility means the use of premises for large-scale events, including, for example, major sporting, recreation conference or entertainment events.</p>	Convention centre, entertainment centre, exhibition centre, horse racing facility, sports stadium	Indoor sport and recreation, local sporting field, motor sport, park, outdoor sport and recreation
Marine industry	<p>Marine industry means the use of waterfront premises for—</p> <p>(a) manufacturing, storing, repairing or servicing vessels or maritime infrastructure; or</p> <p>(b) providing fuel or disposing of waste, if the use is ancillary to the use in paragraph (a).</p>	Boat building, boat storage, dry dock	Marina

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Market	Market means the use of premises on a regular basis for— (a) selling goods to the public mainly from temporary structures, including, for example, stalls, booths or trestle tables; or (b) providing entertainment, if the use is ancillary to the use in paragraph (a).	Flea market, farmers market, car boot sales	Shop, roadside stall
Medium impact industry	medium impact industry means the use of premises for an industrial activity— (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and (b) that a local planning instrument applying to the premises states is a medium impact industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.	Spray painting and surface coating, wooden and laminated product manufacturing (including cabinet making, joining, timber truss making or wood working) Note — Additional examples may be shown in SC1.1.3 Industry thresholds.	Concrete batching, tyre manufacturing and retreading, metal recovery (involving a fragmentiser), textile manufacture, chemically treating timber and plastic product manufacture, service industry, low impact industry, high impact industry, special industry
Motor sport facility	Motor sport facility means the use of premises for— (a) organised or recreational motor sports; or (b) facilities for spectators, including, for example, stands, amenities or food and drink outlets, if the use is ancillary to the use in paragraph (a)	Car race track, go-kart track, lawnmower race track, trail bike park, 4WD and all terrain park, motocross track, motorcycle race track, off road motorcycle facility	Major sport, recreation and entertainment facility, outdoor sport and recreation
Multiple dwelling	Multiple dwelling means a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.	Apartments, flats, units, townhouses, row housing, triplex	Rooming accommodation, dual occupancy, duplex, granny flat, residential care facility, retirement facility
Nature-based tourism	Nature-based tourism means the use of premises for a tourism activity, including accommodation for tourists, for the appreciation, conservation or interpretation of— (a) an area of environmental, cultural or heritage value; or	Environmentally responsible accommodation facilities including cabins, huts, lodges and tents	Environment facility

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	(b) a local ecosystem; or (c) the natural environment.		
Nightclub entertainment facility	Nightclub entertainment facility means the use of premises for— (a) providing entertainment that is cabaret, dancing or music; or (b) selling liquor, and preparing and selling food, for consumption on the premises, if the use is ancillary to the use in paragraph (a).		Club, hotel, tavern, pub, indoor sport and recreation, theatre, concert hall
Non-resident workforce accommodation	Non-resident workforce accommodation means the use of premises for— (a) accommodation for non-resident workers; or (b) recreation and entertainment facilities for persons residing at the premises and their visitors, if the use is ancillary to the use in paragraph (a).	Contractor's camp, construction camp, single person's quarters, temporary workers' accommodation	Relocatable home park, short-term accommodation, tourist park
Office	Office— (a) means the use of premises for— (i) providing an administrative, financial, management or secretarial service or function; or (ii) the practice of a profession; or (iii) providing business or professional advice or services; but (b) does not include the use of premises for making, selling or hiring goods.	Bank, real estate agency	Home based business, home office, shop, outdoor sales
Outdoor sales	Outdoor sales means the use of premises for— (a) displaying, selling, hiring or leasing vehicles, boats, caravans, machinery, equipment or other similar products, if the use is mainly conducted outdoors; or (b) repairing, servicing, selling or fitting accessories for the products stated in paragraph (a), if the use is ancillary to the use in paragraph (a).	Agricultural machinery sales yard, motor vehicles sales yard	Bulk landscape supplies, market
Outdoor sport and recreation	Outdoor sport and recreation means the use of premises for— (a) a recreation or sporting activity that is carried on outdoors and requires areas	Driving range, golf course, swimming pool, tennis courts, football ground, cricket oval	Major sport, recreation and entertainment facility, motor sport park, community use

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>of open space; or</p> <p>(b) providing and selling food and drink, change room facilities or storage facilities, if the use is ancillary to the use in paragraph (a).</p>		
Outstation	<p>Outstation means the use of premises for—</p> <p>(a) cultural or recreation activities by Aboriginal people or Torres Strait Islanders; or</p> <p>(b) facilities for short-term or long-term camping activities, if the use is ancillary to the use in paragraph (a).</p>	Indigenous camp site	Dwelling house, hostel, multiple dwelling, relocatable home park, short term accommodation, tourist park
Park	Park means the use of premises, accessible to the public free of charge, for sport, recreation and leisure activities and facilities.	Urban common	Tourist attraction, outdoor sport and recreation
Parking station	Parking station means the use of premises for parking vehicles, other than parking that is ancillary to another use.	Car park, 'park and ride', bicycle parking	
Party house	<p>Party house means premises containing a dwelling that is used to provide, for a fee, accommodation or facilities for guests if—</p> <p>(a) guests regularly use all or part of the premises for parties (bucks parties, hens parties, raves, or wedding receptions, for example); and</p> <p>(b) the accommodation or facilities are provided for a period of less than 10 days; and</p> <p>(c) the owner of the premises does not occupy the premises during that period.</p>		
Permanent plantation	Permanent plantation means the use of premises for growing, but not harvesting, plants for the carbon sequestration, biodiversity, natural resource management or another similar purpose.		Forestry for wood production, biofuel production
Place of worship	<p>Place of worship means the use of premises for—</p> <p>(a) organised worship and other religious activities; or</p> <p>(b) social, education or charitable activities, if the use is ancillary to the use in paragraph (a).</p>	Church, chapel, mosque, synagogue, temple	Community use, child care centre, funeral parlour, crematorium

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
Port service	Port service means the use of premises for— (a) the arrival and departure of vessels; or (b) the movement of passengers or goods on or off vessels; or (c) storing, servicing, maintaining or repairing vessels; or (d) ancillary uses that directly service the needs of passengers of the vessels.	Marina, ferry terminal	Landing
Relocatable home park	Relocatable home park means the use of premises for— (a) relocatable dwellings for long-term residential accommodation; or (b) amenity facilities, food and drink outlets, a manager's residence, or recreation facilities for the exclusive use of residents, if the use is ancillary to the use in paragraph (a).		Tourist park
Renewable energy facility	Renewable energy facility— (a) means the use of premises for the generation of electricity or energy from a renewable energy source, including, for example, sources of bio-energy, geothermal energy, hydropower, ocean energy, solar energy or wind energy; but (b) does not include the use of premises to generate electricity or energy that is to be used mainly on the premises.	Geothermal power, hydroelectric power, solar farm, tidal power, wind farm	Wind turbine or solar panels supplying energy to domestic or rural activities on the same site
Research and technology industry	Research and technology industry means the use of premises for an innovative or emerging industry that involves designing and researching, assembling, manufacturing, maintaining, storing or testing machinery or equipment.	Aeronautical engineering, biotechnology industries, computer component manufacturing, computer server facilities, energy industries, medical laboratories	
Residential care facility	Residential care facility means the use of premises for supervised accommodation, and medical and other support services, for persons who— (a) can not live independently; and	Convalescent home, nursing home	Community residence, dwelling house, dual occupancy, hospital, multiple dwelling, retirement facility

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	(b) require regular nursing or personal care.		
Resort complex	<p>Resort complex means the use of premises for—</p> <ul style="list-style-type: none"> (a) tourist and visitor accommodation that includes integrated leisure facilities; or (b) staff accommodation that is ancillary to the use in paragraph (a); or (c) transport facilities for the premises, including, for example, a ferry terminal or air service. 	Island resort, bars, meeting and function facilities, restaurants, sporting and fitness facilities	
Retirement facility	<p>Retirement facility means a residential use of premises for—</p> <ul style="list-style-type: none"> (a) accommodation for older members of the community, or retired persons, in independent living units or serviced units; or (b) amenity and community facilities, a manager's residence, health care and support services, preparing food and drink or staff accommodation, if the use is ancillary to the use in paragraph (a). 	Retirement village	Residential care facility
Roadside stall	Roadside stall means the use of premises for the roadside display and sale of goods in a rural area.	Produce stall	Market
Rooming accommodation	<p>Rooming accommodation means the use of premises for—</p> <ul style="list-style-type: none"> (a) residential accommodation, if each resident— <ul style="list-style-type: none"> (i) has a right to occupy 1 or more rooms on the premises; and (ii) does not have a right to occupy the whole of the premises; and (iii) does not occupy a self-contained unit, as defined under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i>, schedule 2, or has only limited facilities available for private use; and (iv) shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or 	Boarding house, hostel, monastery, off-site student accommodation	Hospice, community residence, dwelling house, short-term accommodation, multiple dwelling

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises; or</p> <p>(b) a manager's residence, an office or providing food or other services to residents, if the use is ancillary to the use in paragraph (a).</p>		
Rural industry	<p>Rural industry means the use of premises for—</p> <p>(a) storing, processing or packaging products from a rural use carried out on the premises or adjoining premises; or</p> <p>(b) selling products from a rural use carried out on the premises or adjoining premises, if the use is ancillary to the use in paragraph (a).</p>	Packing shed	Intensive animal husbandry, intensive horticulture, roadside stall, wholesale nursery, winery, abattoir, agricultural supply store
Rural workers' accommodation	<p>Rural workers' accommodation means the use of premises as accommodation, whether or not self-contained, for employees of a rural use, if—</p> <p>(a) the premises, and the premises where the rural use is carried out, are owned by the same person; and</p> <p>(b) the employees are not non-resident workers.</p>	Farm workers' accommodation	Short-term accommodation, caretaker's accommodation, dual occupancy, dwelling house, nature or rural based tourist accommodation, non-resident workforce accommodation, multiple dwelling
Sales office	<p>Sales office means the use of premises for temporary display of land parcels or buildings that—</p> <p>(a) are for sale or proposed to be sold; or</p> <p>(b) can be won as a prize in a competition.</p>	Display dwelling	Bank, office
Service industry	<p>Service industry means the use of premises for an industrial activity that—</p> <p>(a) does not result in off-site air, noise or odour emissions; and</p> <p>(b) is suitable for location with other non-industrial uses.</p>	Audio visual equipment repair, bicycle repairs, clock and watch repairs, computer repairs, dry cleaning, film processing, hand engraving, jewellery making, laundromat, locksmith, picture framing, shoe repairs, tailor	Small engine mechanical repair workshop, cabinet making, shop fitting, sign writing, tyre depot, low impact industry, medium impact, high impact industry, special industry
Service station	<p>Service station means the use of premises for—</p> <p>(a) selling fuel, including, for</p>	Electric vehicle charging station	Car wash

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>example, petrol, liquid petroleum gas, automotive distillate or alternative fuels; or</p> <p>(b) a food and drink outlet, shop, trailer hire, or maintaining, repairing, servicing or washing vehicles, if the use is ancillary to the use in paragraph (a).</p>		
Shop	<p>Shop means the use of premises for—</p> <p>(a) displaying, selling or hiring goods; or</p> <p>(b) providing personal services or betting to the public.</p>	Hairdresser, liquor store, department store, discount department store, discount variety stores, betting agencies, supermarket, corner store	Adult store, food and drink outlet, hardware and trade supplies, market, showroom
Shopping centre	Shopping centre means the use of premises for an integrated shopping complex consisting mainly of shops.		
Short-term accommodation	<p>Short term accommodation—</p> <p>(a) means the use of premises for—</p> <p>(i) providing accommodation of less than 3 consecutive months to tourists or travellers; or</p> <p>(ii) a manager's residence, office, or recreation facilities for the exclusive use of guests, if the use is ancillary to the use in subparagraph (i).</p> <p>(b) does not include a hotel, nature-based tourism, resort complex or tourist park.</p>	Motel, backpackers accommodation, cabins, serviced apartments, hotel accommodation, farm stay	Hostel, rooming accommodation, tourist park
Showroom	<p>Showroom means the use of premises for the sale of goods that are of—</p> <p>(a) a related product line; and</p> <p>(i) a size, shape or weight that requires—</p> <p>(ii) a large area for handling, display or storage; and</p> <p>(b) direct vehicle access to the building that contains the goods by members of the public to enable the loading and unloading of the goods.</p>	Bulk goods sales, motor vehicles sales showroom, bulk stationary supplies	Food and drink outlet, shop, outdoor sales
Special industry	Special industry means the use of premises for an industrial activity—	Tanneries, rendering plants, oil refineries, waste incineration,	Low impact industry, medium impact industry, high impact

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>(a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating products; and</p> <p>(b) that a local planning instrument applying to the premises states is a special industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p>	<p>manufacturing or storing explosives, power plants, manufacturing fertilisers</p> <p>Note — Additional examples may be shown in Table SC1.1.3 Industry thresholds.</p>	<p>industry, service industry</p>
Substation	<p>Substation means the use of premises—</p> <p>(a) as part of a transmission grid or supply network to—</p> <p>(i) convert or transform electrical energy from one voltage to another; or</p> <p>(ii) regulate voltage in an electrical circuit; or</p> <p>(iii) control electrical circuits; or</p> <p>(iv) switch electrical current between circuits; or</p> <p>(b) for a telecommunications facility for—</p> <p>(i) works as defined under the Electricity Act, section s12(1); or</p> <p>(ii) workforce operational and safety communications.</p>	<p>Substations, switching yards</p>	<p>Major electricity infrastructure, minor electricity infrastructure</p>
Telecommunications facility	<p>Telecommunications facility means the use of premises for a facility that is capable of carrying communications and signals by guided or unguided electromagnetic energy.</p>	<p>Telecommunication tower, broadcasting station, television station</p>	<p>Aviation facility, 'low-impact telecommunications facility' as defined under the <i>Telecommunications Act 1997</i></p>
Theatre	<p>Theatre means the use of premises for—</p> <p>(a) presenting movies, live entertainment or music to the public; or</p> <p>(b) the production of film or music; or</p> <p>(c) the following activities or facilities, if the use is ancillary to a use in</p>	<p>Cinema, movie house, concert hall, dance hall, film studio, music recording studio</p>	<p>Community hall, hotel, indoor sport and recreation facility, temporary film studio</p>

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	<p>paragraph (a) or (b)—</p> <ul style="list-style-type: none"> (i) preparing and selling food and drink for consumption on the premises; (ii) facilities for editing and post-production; (iii) facilities for wardrobe, laundry and make-up; (iv) set construction workshops; (v) sound stages. 		
Tourist attraction	<p>Tourist attraction means the use of premises for—</p> <ul style="list-style-type: none"> (a) providing entertainment to, or a recreation facility for, the general public; or (b) preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). 	Theme park, zoo	Hotel, major sport, recreation and entertainment facility, nightclub entertainment facility
Tourist park	<p>Tourist park means the use of premises for—</p> <ul style="list-style-type: none"> (a) holiday accommodation in caravans, self-contained cabins, tents or other similar structures; or (b) amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors, or staff accommodation, if the use is ancillary to the use in paragraph (a). 	Camping ground, caravan park, holiday cabins	Relocatable home park, tourist attraction, short-term accommodation, non-resident workforce accommodation
Transport depot	<p>Transport depot means the use of premises for—</p> <ul style="list-style-type: none"> (a) storing vehicles, or machinery, that are used for a commercial or public purpose; or (b) cleaning, repairing or servicing vehicles or machinery, if the use is ancillary to the use in paragraph (a). 	Premises used for storing buses, taxis, heavy vehicles or heavy machinery, contractors depot	Home based business, warehouse, low impact industry, service industry
Utility installation	<p>Utility installation means the use of premises for—</p> <ul style="list-style-type: none"> (a) a service for supplying or treating water, hydraulic power or gas; or (b) a sewerage, drainage or stormwater service; or (c) a transport service; or (d) a waste management service; or 	Sewerage treatment plant, mail depot, pumping station, water treatment plant	Telecommunications tower, major electricity infrastructure, minor electricity infrastructure, substation, renewable energy facility, transport depot

Regulated requirements		Guidance	
Column 1 Use term	Column 2 Definition	Column 3 Includes the following examples	Column 4 Does not include the following examples
	(e) a maintenance depot, storage depot or other facility for a service stated in paragraphs (a) to (d).		
Veterinary service	Veterinary service means the use of premises for— (a) the medical or surgical treatment of animals; or (b) the short-term stay of animals, if the use is ancillary to the use in paragraph (a).		Animal keeping
Warehouse	Warehouse means the use of premises for— (a) storing or distributing goods, whether or not carried out in a building; or (b) the wholesale of goods, if the use is ancillary to the use in paragraph (a).	Self-storage facility, storage yards	Hardware and trade supplies, outdoor sales, showroom, shop
Wholesale nursery	Wholesale nursery means the use of premises for— (a) the wholesale of plants grown on or next to the premises; or (b) selling gardening materials, if the use is ancillary to the use in paragraph (a).		Bulk landscape supplies, garden centre
Winery	Winery means the use of premises for— (a) making wine; or (b) selling wine that is made on the premises.		Rural industry

Table SC1.1.3 – Industry thresholds

Use	Additional examples include
Low-impact industry	<ol style="list-style-type: none"> (1) Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting (2) Repairing and servicing lawn mowers and outboard engines (3) Fitting and turning workshop (4) Assembling or fabricating products from sheet metal or welding steel, producing less than 10 tonnes a year and not including spray painting (5) Assembling wood products not involving cutting, routing, sanding or spray painting (6) Dismantling automotive or mechanical equipment, not including debonding brake or clutch components.
Medium-impact industry	<ol style="list-style-type: none"> (1) Metal foundry producing less than 10 tonnes of metal castings per annum (2) Boiler-making or engineering works producing less than 10,000 tonnes of metal product per annum (3) Facility, goods yard or warehouse for the storage and distribution of hazardous chemicals in quantities that exceed a manifest quantity under the <i>Work Health and Safety Regulation 2011</i> and not involving: <ul style="list-style-type: none"> • refrigeration systems or cold stores that operate using anhydrous ammonia • manufacturing processes • a hazardous chemical facility (4) Abrasive-blasting facility using less than 10 tonnes of abrasive material per annum (5) Enamelling workshop using less than 15,000 litres of enamel per annum (6) Galvanising works using less than 100 tonnes of zinc per annum (7) Anodising or electroplating workshop where tank area is less than 400 square metres (8) Powder-coating workshop using less than 500 tonnes of coating per annum (9) Spray-painting workshop (including spray painting vehicles, plant, equipment or boats) using less than 20,000 litres of paint per annum (10) Scrap-metal yard (not including a fragmentiser), dismantling automotive or mechanical equipment including debonding brake or clutch components (11) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, less than 200 tonnes per annum (12) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 200 tonnes per annum (13) Vegetable oil or oilseed processing in works with a design production capacity of less than 1000 tonnes per annum (14) Manufacturing wooden products including cabinet making, joinery, wood working, producing less than 500 tonnes per annum (15) Manufacturing medium-density fibreboard, chipboard, particle board, plywood, laminated board or wood-veneer products, less than 250 tonnes per annum (16) Sawmilling, wood chipping and kiln-drying timber and logs, producing less than 500 tonnes per annum (17) Recycling and reprocessing batteries (18) Repairing or maintaining boats (19) Manufacturing substrate for mushroom growing (20) Manufacturing or processing plaster, producing less than 5000 tonnes per annum

Use	Additional examples include
	<ul style="list-style-type: none"> (21) Recycling or reprocessing tyres including retreading (22) Printing advertising material, magazines, newspapers, packaging and stationery (23) Transport depot, distribution centre, contractors depot and storage yard (24) Manufacturing fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, less than 5 tonnes per annum (except fibreglass boats, tanks and swimming pools) (25) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, less than 10 000 tonnes per annum (26) Reconditioning metal or plastic drums (27) Glass-fibre manufacture less than 200 tonnes per annum (28) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.
High-impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing 10 tonnes or greater of metal castings per annum (2) Boiler-making or engineering works producing 10,000 tonnes or greater of metal product per annum (3) Hazardous chemical facility for the storage and distribution of dangerous goods not involving manufacturing processes (4) A manufacturing process involving hazardous chemicals in quantities that exceed a manifest quantity under the <i>Work Health and Safety Regulation 2011</i> (5) A facility that includes refrigeration systems or cold stores involving anhydrous ammonia in quantities that exceed a manifest quantity under the <i>Work Health and Safety Regulation 2011</i> (6) Scrap-metal yard including a fragmentiser (7) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, greater than 200 tonnes per annum (8) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, greater than 200 tonnes per annum (9) Vegetable oil or oilseed processing in works with a design production capacity of greater than 1000 tonnes per annum (10) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum (11) Manufacturing medium-density fibreboard, chipboard, particle board, plywood, laminated board or wood-veneer products, 250 tonnes or greater per annum (12) Sawmilling, wood chipping and kiln-drying timber and logs, producing greater than 500 tonnes per annum (13) Manufacturing or processing plaster, producing greater than 5000 tonnes per annum (14) Enamelling workshop using 15,000 litres or greater of enamel per annum (15) Galvanising works using 100 tonnes or greater of zinc per annum (16) Anodising or electroplating workshop where tank area is 400 square metres or greater (17) Powder-coating workshop using 500 tonnes or greater of coating per annum (18) Spray-painting workshop (including spray-painting vehicles, plant, equipment or boats) using 20,000 litres or greater of paint per annum (19) Concrete batching and producing concrete products (20) Treating timber for preservation using chemicals including copper, chromium, arsenic, borax and creosote (21) Manufacturing soil conditioners by receiving, blending, storing, processing, drying or composting organic material or organic waste,

Use	Additional examples include
	<p>including animal manures, sewage, septic sludges and domestic waste</p> <p>(22) Manufacturing fibreglass pools, tanks and boats</p> <p>(23) Manufacturing, fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, 5 tonnes or greater per annum (except fibreglass boats, tanks and swimming pools)</p> <p>(24) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, 10,000 tonnes or greater per annum</p> <p>(25) Manufacturing tyres, asbestos products, asphalt, cement, glass or glass fibre, mineral wool or ceramic fibre</p> <p>(26) Abattoir</p> <p>(27) Recycling chemicals, oils or solvents</p> <p>(28) Waste-disposal facility (other than waste incinerator)</p> <p>(29) Recycling, storing or reprocessing regulated waste</p> <p>(30) Manufacturing batteries</p> <p>(31) Manufacturing wooden products including cabinet making, joinery, wood-working, producing greater than 500 tonnes per annum</p> <p>(32) Abrasive-blasting facility using 10 tonnes or greater of abrasive material per annum</p> <p>(33) Glass-fibre manufacture producing 200 tonnes or greater per annum</p> <p>(34) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.</p>
Special industry	<p>(1) Oil refining or processing</p> <p>(2) Producing, refining or processing gas or fuel gas</p> <p>(3) Distilling alcohol in works producing greater than 2500 litres per annum</p> <p>(4) Power station</p> <p>(5) Producing, quenching, cutting, crushing or grading coke</p> <p>(6) Waste incinerator</p> <p>(7) Sugar milling or refining</p> <p>(8) Pulp or paper manufacturing</p> <p>(9) Tobacco processing</p> <p>(10) Tannery or works for curing animal skins, hides or finishing leather</p> <p>(11) Textile manufacturing, including carpet manufacturing, wool scouring or carbonising, cotton milling, or textile bleaching, dyeing or finishing</p> <p>(12) Rendering plant</p> <p>(13) Manufacturing chemicals, poisons and explosives</p> <p>(14) Manufacturing fertilisers involving ammonia</p> <p>(15) Manufacturing polyvinyl chloride plastic</p> <p>(16) Hazardous chemical facility involving manufacturing processes for hazardous chemicals.</p>

SC1.2 Administrative definitions

- (1) Administrative terms and definitions assist with the interpretation of the planning scheme but do not have a meaning in relation to a use term.
- (2) An administrative term listed in table SC1.2.2, column 1 has the meaning set out beside that administrative term in column 2 under the heading.
- (3) The administrative terms and definitions listed here are the terms and definitions for the planning scheme.

Table SC1.2.1—Index of administrative definitions.

<ul style="list-style-type: none"> • Adjoining premises • Advertising device • Affordable housing • Average width • Basement • Boundary clearance • Building height • Commercial activities • Community activities • Cultural heritage find • Demand unit • Development footprint • Defined flood level • Domestic outbuilding 	<ul style="list-style-type: none"> • Dwelling Farm stay • Essential community infrastructure • Gross floor area • Ground level • Hazardous chemical facility • Household • Industrial uses • Minor building work • Minor electricity infrastructure • Net developable area • Non-resident worker • Outermost projection • Plot ratio 	<ul style="list-style-type: none"> • Prescribed hazardous chemical Projection area • Public sector entity • Secondary dwelling • Sensitive land use • Service catchment • Setback • Site • Site cover • Storey • Temporary use • Tourist uses • Ultimate development • Vulnerable use
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Table SC1.2.2—Administrative terms and definitions

Column 1 Administrative term	Column 2 Definition
Adjoining premises	Adjoining premises means premises that share a common boundary, including premises that meet at a single point on a common boundary.
Advertising device	Advertising device — (a) means a permanent sign, structure or other device used, or intended to be used, for advertising; and (b) includes a structure, or part of a building, the primary purpose of which is to support the sign, structure or device.
Affordable housing	Affordable housing means housing that is appropriate to the needs of households with low to moderate incomes, if the members of the households will spend no more than 30% of gross income on housing costs.
Average width	Average width , of a lot, means the distance, measured in metres, between the midpoint on each side boundary of the lot.
Basement	Basement means a space— (a) between a floor level in a building and the floor level that is immediately below it; and (b) no part of which is more than 1m above ground level.
Boundary clearance	Boundary clearance means the distance between a building or structure on premises and the boundary of the premises, measured from the part of the building or structure that is closest to the boundary, other than a part that is— (a) an architectural or ornamental attachment; or (b) a rainwater fitting.

Column 1 Administrative term	Column 2 Definition
	<p><i>Examples—</i></p> <ol style="list-style-type: none"> 1 If the fascia of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between the outside of the fascia and the boundary. 2 If a point on the roof of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between that point on the roof and the boundary.
Building height	<p>Building height, of a building, means—</p> <ol style="list-style-type: none"> (a) the vertical distance, measured in metres, between the ground level of the building and the highest point on the roof of the building, other than a point that is part of an aerial, chimney, flagpole or load-bearing antenna; or (b) the number of storeys in the building above ground level.
Commercial activities	<p>Commercial activities means —</p> <ol style="list-style-type: none"> (a) Bar (b) Car wash (c) Food and drink outlet (d) Function facility (e) Garden centre (f) Hardware and trade supplies (g) Hotel (h) Market (i) Nature-based tourism (j) Office (k) Sales office (l) Service station (m) Shop (n) Shopping centre (o) Showroom (p) Theatre (q) Tourist attraction (r) Veterinary service
Community activities	<p>Community activities means —</p> <ol style="list-style-type: none"> (a) Cemetery (b) Club (c) Community care centre (d) Community residence (e) Community use (f) Crematorium (g) Detention facility (h) Educational establishment (i) Funeral parlour (j) Health-care services (k) Hospital (l) Outstation (m) Place of worship
Cultural heritage find	<p>Cultural heritage find means a significant Aboriginal object or, evidence of archaeological or historic significance of Aboriginal occupation of an area of Queensland, or Aboriginal human remains, found in the course of undertaking an activity covered by the <i>Aboriginal Cultural Heritage Act 2003</i> gazetted duty of care guidelines.</p>
Demand unit	<p>Demand unit means a unit of measurement for measuring the level of demand for infrastructure.</p>
Defined flood level	<p>Defined flood level means is the estimated height of the flood waters produced when a Defined Flood Event (DFE) occurs, and is measured in Australian Height Datum (AHD)</p> <p><i>Note: The DFE used for the Etheridge Shire Planning Scheme is a 1% Annual Exceedance Probability (AEP) event. A flood with a 1% AEP has a one in a hundred chance of being exceeded in any year.</i></p>

Column 1 Administrative term	Column 2 Definition
Development footprint	Development footprint , for development, means a part of the premises that the development relates to, including, for example, any part of the premises that, after the development is carried out, will be covered by— (a) buildings or structures, measured to their outermost projection; or (b) landscaping or open space; or (c) facilities relating to the development; or (d) on-site stormwater drainage or wastewater treatment; or (e) a car park, road, access track or area used for vehicle movement; or (f) another area of disturbance.
Domestic outbuilding	Domestic outbuilding means a non-habitable class 10a building that is— (a) a shed, garage or carport; and (b) ancillary to a residential use carried out on the premises where the building is.
Dwelling	Dwelling means all or part of a building that— (a) is used, or capable of being used, as a self-contained residence; and contains— (i) food preparation facilities; and (ii) a bath or shower; and (iii) a toilet; and (iv) a wash basin; and (v) facilities for washing clothes.
Essential community infrastructure	Essential community infrastructure means — (a) emergency services infrastructure (b) emergency shelters (c) police facilities (d) hospitals and associated facilities (e) power stations and substations (f) major switch yards (g) communications facilities (h) sewage treatment plants (i) water treatment plants.
Farm stay	Farm stay means provision of accommodation to guests on a working farm.
Gross floor area	Gross floor area , for a building, means the total floor area of all storeys of the building, measured from the outside of the external walls and the centre of any common walls of the building, other than areas used for— (a) building services, plant or equipment; or (b) access between levels; or (c) a ground floor public lobby; or (d) a mall; or (e) parking, loading or manoeuvring vehicles; or (f) unenclosed private balconies, whether roofed or not.
Ground level	Ground level means— (a) the level of the natural ground; or (b) if the level of the natural ground has changed, the level as lawfully changed.
Hazardous chemical facility	Hazardous chemical facility means the use of premises for a facility at which a prescribed hazardous chemical is present or likely to be present in a quantity that exceeds 10% of the chemical's threshold quantity under the Work Health and Safety Regulation, schedule 15.
Household	Household means 1 or more individuals who— (a) live in a dwelling with the intent of living together on a long-term basis; and (b) make common provision for food and other essentials for living.
Industrial uses	Industrial uses means — (a) Extractive industry (b) High-impact industry (c) Low-impact industry (d) Medium-impact industry (e) Research and technology industry

Column 1 Administrative term	Column 2 Definition
	(f) Special industry (g) Service industry (h) Warehouse
Minor building work	Minor building work means building work that increases the gross floor area of a building by no more than the lesser of the following— (a) 50m ² ; (b) an area equal to 5% of the gross floor area of the building.
Minor electricity infrastructure	Minor electricity infrastructure means development stated in the <i>Planning Regulation 2017</i> , schedule 6, section 26(5).
Net developable area	Net developable area , for premises, means the area of the premises that— (a) is able to be developed; and (b) is not subject to a development constraint, including, for example, a constraint relating to acid sulfate soils, flooding or slope.
Non-resident worker	Non-resident worker means a person who performs work as part of— <ul style="list-style-type: none"> • a resource extraction project; or • a project identified in a planning scheme as a major industry or infrastructure project; or • a rural use; and lives, for extended periods, in the locality of the project, but has a permanent residence elsewhere. <i>Example of a non-resident worker—</i> a person engaged in fly-in/fly-out, or drive in/drive out, working arrangements
Outermost projection	Outermost projection , of a building or structure, means the outermost part of the building or structure, other than a part that is— (a) a retractable blind; or (b) a fixed screen; or (c) a rainwater fitting; or (d) an ornamental attachment.
Plot ratio	Plot ratio means the ratio of the gross floor area of a building on a site to the area of the site.
Prescribed hazardous chemical	Prescribed hazardous chemical (a) means a hazardous chemical that— (i) is stated in the Work Health and Safety Regulation, schedule 15, table 15.1; or (ii) belongs to a class, type or category of hazardous chemicals stated in the Work Health and Safety Regulation, schedule 15, table 15.2; but (b) does not include a liquid that is an agricultural chemical product under the <i>Agricultural and Veterinary Chemicals Code Act 1994</i> (Cwlth), if— (i) the liquid is stored on premises in a Rural zone; and (ii) the liquid is for use in a primary industry activity; and (iii) the total amount of liquid stored on the premises is less than 10,000L; and (iv) the liquid is stored in packages that are labelled and ready for use by an end user.
Projection area	Projection area means a part of the local government area for which the local government has carried out demand growth projection.
Public sector entity	Public sector entity means— (a) a department or part of a department; or (b) other than in chapter 4 of the <i>Planning Act 2016</i> —a distributor-retailer; or (c) an agency, authority, commission, committee, corporation (including a government owned corporation), instrumentality, office, or other entity, established under an Act for a public or State purpose.

Column 1 Administrative term	Column 2 Definition
	<i>Examples for paragraph (c)</i> — a local government, a government owned corporation or a rail government entity under the Transport Infrastructure Act
Secondary dwelling	Secondary dwelling means a dwelling, whether attached or detached, that is used in conjunction with, and subordinate to, a dwelling house on the same lot.
Sensitive land use	Sensitive land use means— (a) caretaker's accommodation; or (b) a childcare centre; or (c) a community care centre; or (d) a community residence; or (e) a detention facility; or (f) a dual occupancy; or (g) a dwelling house; or (h) a dwelling unit; or (i) an educational establishment; or (j) a health care service; or (k) a hospital; or (l) a hotel, to the extent the hotel provides accommodation for tourists or travellers; or (m) a multiple dwelling; or (n) non-resident workforce accommodation; or (o) a relocatable home park; or (p) a residential care facility; or (q) a resort complex; or (r) a retirement facility; or (s) rooming accommodation; or (t) rural workers' accommodation; or (u) short-term accommodation; or (v) a supervised accommodation service; or (w) a tourist park.
Service catchment	Service catchment means an area serviced by an infrastructure network.
Setback	Setback , for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
Site	Site , of development, means the land that the development is to be carried out on. <i>Examples—</i> 1 If development is to be carried out on part of a lot, the site of the development is that part of the lot. 2 If development is to be carried out on part of 1 lot and part of an adjoining lot, the site of the development is both of those parts.
Site cover	Site cover , of development, means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is— (a) in a landscaped or open space area, including, for example, a gazebo or shade structure; or (b) a basement that is completely below ground level and used for car parking; or (c) the eaves of a building; or (d) a sun shade.
Storey	Storey— (a) means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than— (i) a space containing only a lift shaft, stairway or meter room; or (ii) a space containing only a bathroom, shower room, laundry, toilet or other sanitary compartment; or (iii) a space containing only a combination of the things stated in subparagraph

Column 1 Administrative term	Column 2 Definition
	<ul style="list-style-type: none"> (i) or (ii); or (iv) a basement with a ceiling that is not more than 1m above ground level; and (b) includes— <ul style="list-style-type: none"> (i) a mezzanine; and (ii) a roofed structure that is on, or part of, a rooftop, if the structure does not only accommodate building plant and equipment.
Temporary use	<p>Temporary use means a use that—</p> <ul style="list-style-type: none"> (a) is carried out on a non-permanent basis; and (b) does not involve the construction of, or significant changes to, permanent buildings or structures.
Tourist uses	<p>Tourist uses means —</p> <ul style="list-style-type: none"> (a) Environment facility (b) Food and drink outlet (c) Nature-based tourism (d) Outdoor sport and recreation (e) Short-term accommodation (f) Tourist attraction (g) Tourist park (h) Winery
Ultimate development	<p>Ultimate development, for an area or premises, means the likely extent of development that is anticipated in the area, or on the premises, if the area or premises are fully developed.</p>
Vulnerable Use	<p>Vulnerable uses are those involving —</p> <ul style="list-style-type: none"> a) the accommodation or congregation of vulnerable sectors of the community such as child care centres, clubs, community care centre, detention facilities, rooming accommodation, retirement facilities or residential care facilities, tourist parks, places of worship; or b) types of community infrastructure including community uses, health care services, hospitals, educational establishments, and emergency services; or c) the provision of essential services including community uses, utility installation, telecommunications facility, substations and major electricity infrastructure; or d) hazardous chemical facilities.

SC1.3 List of shortened forms

Table SC1.3.2 Shortened forms

Shortened form	Description
the Act	<i>Planning Act 2016</i>
AEP	Annual Exceedance Probability
ARI	Average recurrence interval
EAC	Ewamian Aboriginal Corporation
ESC	Etheridge Shire Council
LGA	Local Government Area
MCU	Material change of use as defined in the Act
NRWA	Non-resident workforce accommodation
RaL	Reconfiguring a lot as defined in the Act
the Regulation	<i>Planning Regulation 2017</i>
RNTBC	Registered Native Title Body Corporate
TLPI	Temporary Local Planning Instrument

Schedule 2—Mapping

SC2.1 Map index

The table below lists the strategic framework and zoning and maps applicable to the planning scheme area.

Table SC2.1.1—Map index

Map number	Map title	Gazettal date
CM-1	Etheridge Shire Planning Scheme Context Map	<insert gazettal date>
SFM-1	Etheridge Shire Planning Scheme Strategic Framework	<insert gazettal date>
ZM-1	Etheridge Shire Planning Scheme Shire Zones and Precincts	<insert gazettal date>
ZM-2	Etheridge Shire Planning Scheme Georgetown Zones and Precincts	<insert gazettal date>
ZM-3	Etheridge Shire Planning Scheme Mount Surprise Zones and Precincts	<insert gazettal date>
ZM-4	Etheridge Shire Planning Scheme Forsyth Zones and Precincts	<insert gazettal date>
ZM-5	Etheridge Shire Planning Scheme Einasleigh Zones and Precincts	<insert gazettal date>
FH-1	Etheridge Shire Planning Scheme Queensland Floodplain Assessment Overlay	<insert gazettal date>
FH-2	Etheridge Shire Planning Scheme Georgetown Flood Hazard	<insert gazettal date>
FH-3	Etheridge Shire Planning Scheme Mount Surprise Flood Hazard	<insert gazettal date>
FH-4	Etheridge Shire Planning Scheme Forsyth Flood Hazard	<insert gazettal date>
FH-5	Etheridge Shire Planning Scheme Einasleigh Flood Hazard	<insert gazettal date>
PM-1	Etheridge Shire Planning Scheme Areas of Cultural Significance	<insert gazettal date>

SC2.2 Online Mapping Resources

The table below lists relevant State Government maps applicable to the planning scheme area.

Table SC2.2.1 Online Mapping Resources

SPP Mapping		
State Interest	SPP Theme	Map Layer
Economic Growth	Agriculture	Important agricultural areas Agricultural land classification – class A and B Stock route network
Environment and Heritage	Biodiversity	Matters of State Environmental Significance (MSES)
	Cultural Heritage	State heritage place
Infrastructure	State Transport Infrastructure	State-controlled road Railway corridor
	Energy and Water Supply	Major electricity infrastructure (Ergon) Electricity substation (Ergon)
	Strategic Airports and Aviation Facilities	Aviation facility Editor's Note: There is only one in Etheridge Shire and it is located on the southern border of the shire at Cheviot Hills
Safety and Resilience to Hazards	Natural Hazards Risk and Resilience	Bushfire prone area Flood hazard area – Level 1 – Queensland floodplain assessment overlay Flood hazard area – Local government flood mapping area
Other Mapping		
GeoResGlobe (Department of Natural Resources, Mines and Energy)		
Transport Noise Corridors (TNC) (SPP Mapping, Information Purposes, Transport infrastructure)		

Schedule 3—Etheridge Heritage Places

This schedule helps to identify and protect the history and heritage of Etheridge Shire for future generations and includes state and local heritage places. Part 11 of the *Queensland Heritage Act 1992* requires local governments to either identify places of cultural heritage significance in their planning scheme or on a local heritage register.


State heritage places are managed and assessed by the state under the *Queensland Heritage Act 1992*. Development proposed on state heritage places may still require a planning approval from Council.




Local heritage places not only provide a sense of identity for the local community but reflect the unique history of Etheridge Shire. The places listed below have been included in the planning scheme as they reflect the important historical themes of the shire. Development impacting local heritage places is assessable by Council.




The significance of identified local heritage places was assessed using the following recognised heritage criteria:


- (a) The place is important in demonstrating the evolution or pattern of the shire's history.
- (b) The place demonstrates rare, uncommon or endangered aspects of the shire's cultural heritage.
- (c) The place has potential to yield information that will contribute to the knowledge and understanding of the shire's history.
- (d) The place is important in demonstrating the principal characteristics of a particular class or classes of cultural places.
- (e) The place is important to the shire because of its aesthetic significance.
- (f) The place is important in demonstrating a high degree of creative or technical achievement at a particular period.
- (g) The place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.
- (h) The place has a special association with the life or work of a particular person, group or organisation of importance in the shire's history.




Table SC3.1 – Local Heritage Places



Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
Georgetown			
Georgetown Shire Hall	43 St George Street Georgetown 904/G1884 	(a) (g)	<p>The Einasleigh Divisional Board, which included the Georgetown district, was formed in 1879 and became the Einasleigh Shire Council in 1903.</p> <p>In July 1907, the Einasleigh Shire Council was granted a loan of £1300 for the erection of a hall at Georgetown. The new shire hall, which cost over £1700 was officially opened on 9 October 1908 with a grand ball.</p> <p>In 1919, the name of the district was changed to Etheridge Shire and the hall became known as the Etheridge Shire Hall.</p> <p>The building has undergone several renovations over the years and once served as the Etheridge Shire Council office.</p>



Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
Historic telegraph pole	On the footpath at 34 St George Street (Opposite old pharmacy) Georgetown 32/G1884 	(a)	A historic telegraph pole, likely dating to 1871, is located opposite the old pharmacy building along St George Street. A telegraph station was opened at Georgetown in October 1871, as part of the line running from Cardwell to the Norman River. The telegraph pole is important in demonstrating the evolution of telegraph services in Far North Queensland and the development of Georgetown in the late 1800s.
Savannah House	49 St George Street Georgetown 901/G1884 	(a)	The building likely dates to the early 1890s. It was built as a residence and office for the mining warden and was later used as the clerk of courts residence until 1980. It is now privately owned. Savannah House is important in demonstrating the evolution or pattern of Etheridge Shire's history.
Georgetown Anglican Church (St. Michael's and All Angels Church)	St George Street Georgetown 802-803/G1884 	(a) (g)	The first Anglican Church opened in Georgetown in 1888 was completely destroyed by a cyclone in November 1914. This church was constructed in 1938 and demonstrates the commitment of the local community to provide places of worship. The bell was originally from the Catholic Church in Croydon. The church has continually served the community since then.
Georgetown Masonic Temple (Sir William Wallace Lodge No 64)	5 Cumberland Street Georgetown 6/GB95	(a) (g)	The Georgetown Masonic Temple was originally built as the Croydon Methodist Church in the late 1880s. The Croydon Masonic lodge was formed in late 1888 and began using the church. A cyclone destroyed their temple in December 1935.



Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>In 1939, the District Grand Lodge decided the lodge would be more successful if it relocated to Georgetown. Thus, in 1940, the Croydon Methodist Church Hall was purchased, moved to Georgetown and erected on its present site as Sir William Wallace Lode No. 64. The first meetings in the hall were held in 1942.</p> <p>The building is an example of the practice of relocating buildings where the need arose, common in rural Queensland.</p>
Georgetown Catholic Church (St. Patrick's Catholic Church)	26 High Street Georgetown 402/G1884 	(a) (g)	<p>Georgetown's first Catholic Church was a weatherboard building erected in 1873; however, it fell into disrepair and was destroyed by a cyclone in the 1880s. Fundraising for a church building started in 1911, led by the ladies' committee.</p> <p>The foundation stone for the present St Patrick's Catholic Church was laid on 17 March 1912 by Bishop Murray and tenders for the erection of the church building were called soon after. St Patrick's Catholic Church was dedicated on 19 January 1913.</p> <p>Since construction, the church's Gothic windows have been removed and a unit has been added at the rear of the building for the resident priest.</p>
Georgetown Police Station	10 High Street Georgetown 3/CP899013 	(a) (g)	<p>The Georgetown Police Station demonstrates the growth of Georgetown, where there has been a police presence since the 1870s. Originally including an office, quarters for police, and two cells detached from the main building, it has been an important part of the community since its construction in 1907. The building has been used continually by the local police for over 100 years.</p> <p>Ewamian people have a special association with the Georgetown Police Station where Aboriginal people, including Ewamian, worked as Police Trackers.</p>
Nugent's Battery	Green's Park, St George Street (corner North Street) Georgetown 21/G1885	(a)	<p>In early 1938, Edward Thaddeus Green, Nugent and party erected a 5-head battery in Georgetown to treat public ore. Nugent's battery was one of the last operating on the early field, crushing ore from the Nugent brothers' Golden Horseshoe Mine. Ore from the International mine was also crushed at Nugent's battery. By November 1938,</p>


Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>Nugent's battery at Georgetown had treated 138 tons of ore.</p> <p>It is not known when the battery closed, although the Golden Horseshoe lease operated from 1936 to 1940. The park has been established around the battery as a reminder of Georgetown's importance as the centre of the Etheridge Goldfield.</p>
Georgetown Cemetery	<p>Northern end of St George Street Georgetown 20/C8131</p>	<p>(a) (c) (g)</p>	<p>The Georgetown Cemetery demonstrates the pattern of European settlement of the Etheridge district, being the resting place for some of its earliest residents. Legible inscriptions on cast-iron monuments date back to 1873.</p> <p>Ewamian people have a special association with the Georgetown cemetery as a Ewamian person is buried here. The Ewamian burial is outside the fence.</p>
Cumberland Chimney	<p>21 km west of Georgetown on the Gulf Development Road Georgetown 1/MPH22837</p> 		<p>The Cumberland Chimney is the only such chimney surviving in the Georgetown district.</p> <p>By 1875, the mine had established a reputation as one of the best gold producers on the Etheridge field. The town of Cumberland was surveyed in June 1882 to serve the mine and battery. Throughout the 1880s, the mine continued to be the richest producer on the Etheridge field.</p> <p>By 1887, the township had a post office, police barracks, four hotels, a branch of the Queensland National Bank, three stores, butcher, cordial factory, and a population of 150. The remnant brick chimney was likely built in the late 1880s to carry smoke from large boilers driving batteries of stampers crushing gold-bearing rock.</p> <p>A tramway was built in 1891 to transport ore from the Cumberland mine through the township to the battery. The remanent earth formation of the tramway is still evident in the town site.</p>
Georgetown Historic Aboriginal Cemetery	<p>Approximately 1km north-west of township Georgetown 8/SP217473</p>	(g)	<p>The Georgetown Historic Aboriginal Cemetery is an important Ewamian heritage place in the Etheridge Shire. The cemetery has an allocated land parcel (8/SP217473), however Ewamian people may also be buried outside this boundary.</p>

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			There are also other Ewamian burial areas near the Georgetown Aboriginal Reserve and surrounding areas as identified on map PM-1 – Areas of Cultural Significance.
Forsayth			
Forsayth cemetery	Forsayth Cemetery Road 5/GB35 	(a) (g)	The Forsayth Cemetery demonstrates the pattern of European settlement of the district as the principal resting place for Forsayth residents from the 1920s. During the 1910s, the cemetery at the abandoned settlement of Charleston (Old Charleston Cemetery) continued to be used. The site is important to the local community and for the descendants of those who established the town and district.
Forsayth Police Station	Fourth St (adjacent to rail corridor) 4/GB12 	(a) (g)	The Forsayth Police Station demonstrates the development of Forsayth during the 1910s, following the town's relocation from Charleston with the arrival of the new rail link in 1910. The station has been an important part of the community since its construction in 1912; having been used continually by the local police for over 100 years. Ewamian people have a special association with the Forsayth Police Station where Aboriginal people, including Ewamian, worked as Police Trackers
The Old Forsayth Lockup	First St (adjacent to rail corridor) 19/SP134360 	(a) (g)	The old Forsayth gaol cells are small buildings in the back paddock of Forsayth Police Station in the township of Forsayth. It is unknown when use of the cells was discontinued. The police cells were gifted to the Etheridge Shire Council and restored in 2016 and transformed into a small museum and renamed the Old Forsayth Lockup.
Forsayth Hospital	Third Street (near the corner of Third and Eighth Streets) 26/MPH2250	(a)	The Forsayth Hospital, erected in 1938, contained a single bed ward, clinic areas, and quarters for a resident nurse, replacing the original Forsayth hospital on the outskirts of town. The hospital has been upgraded over time to suit the needs of the local community and was reconfigured in 2014 to include two more consult rooms and a separate resuscitation area. It is unclear whether

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>any of the original internal fabric remains.</p> <p>The hospital is important in demonstrating the pattern of development in the district and the provision of health services in Queensland.</p>
Old Charleston Cemetery	Off Charleston Cemetery Road 14/GB105	(a) (c) (g)	<p>The cemetery served the original Charleston township from the 1870s until the 1920s following the whole town being moved across the Delaney River in 1910 and eventually renamed Forsyth.</p> <p>The old cemetery is the only surviving structure of the original township. It contains 20 marked graves including seven with headstones. The earliest headstone is that of Susannah O'Brien, who died in April 1875.</p> <p>The site has the potential to reveal information about early burial practices in Far North Queensland and is important to the local community and for the descendants of those who established the town and district.</p>
St Augustine of Canterbury Church	Corner of Third and Fourth Streets Forsyth 5/MPH22949 	(a) (g)	<p>St Augustine's church was built in 1940. It underwent renovations (including re-cladding) in 1989 and was re-dedicated at this time.</p> <p>The church is used by all denominations.</p>
Einasleigh			
Einasleigh Cemetery	Cemetery Road 42/SP159901	(a) (g)	<p>The Einasleigh Cemetery was gazetted in 1913. It is likely the cemetery served the town following the establishment of the railway line in 1909-1910.</p> <p>The cemetery remains in use and a small columbarium has been added in recent years bearing plaques dating</p>

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>from 1989. The town of Einasleigh was first surveyed in 1890 – it is unclear whether any earlier burials remain at the cemetery or elsewhere.</p> <p>Ewamian people have a special association with the Einasleigh cemetery as Ewamian people are thought to have been buried there in 1914 and 1930.</p>
Old Einasleigh Police Station (Dyas Homestead)	Baroota Street, Einasleigh 700/E5081 	(a)	<p>At the turn of last century, the residents of the township of Einasleigh wrote a letter to the Minister for Mines in Brisbane claiming that thieving was rife within the town, and the drunken antics of Saturday and Sunday nights at the local hotel were unbearable without police protection. This led to the establishment of the former Einasleigh Police Station building in July of 1906.</p> <p>Ewamian people have a special association with the Old Einasleigh Police Station where Aboriginal people, including Ewamian, worked as Police Trackers.</p> <p>After years of use the building is now named Dyas Homestead after the late Sub-Inspector George Dyas and is used as a police welfare house.</p>
Mount Surprise			
Mount Surprise Old Telegraph Office	Gulf Developmental Road 1/TE2 	(a)	Built around 1870-1871 at Junction Creek and subsequently moved to Mount Surprise.
Mount Surprise Cemetery	Gulf Developmental Road Adj 5/SP252513	(a) (g)	Mount Surprise Memorial Cemetery comprises a small area bounded by a circle of rocks. It contains only two marked graves together with a plaque listing the names of others believed to have been buried in the unmarked graves at this location.
Other			
Kidston Cemetery	68km south-east of Forsayth, Access by the Gregory Development Road (2km from Kidston township) 1/PY4	(a) (g)	A cemetery reserve of 3 acres, 2 roods and 16 perches was gazetted at Kingston in 1919. The cemetery contains 25 identifiable graves, including 10 with headstones. The earliest headstone marks the grave of

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			John Joseph Hall, who died on 28 January 1917. The latest headstone marks the grave of Theodore Lindner, who died in 1939.
Castleton Battery, Township & Big Reef Mine – Gold (remnants)	5km south of Forsayth on the Southern side of the Goldsmith Creek Road & on western bank of Woolpack Ck. 13/GB101 	(a) (c)	<p>The Big Reef Mine was discovered in the early 1870s, following Richard Daintree's 1869 report of a gold rush to the Gilbert River. A town was surveyed for the Mines Department in August 1890 to serve the Big Reef mine as there was a population of 80 by 1888. The settlement was named Castleton after the nearby prominent and massive castle-shaped rock which incorporated the main reef.</p> <p>The settlement supported three hotels, a butcher, a bakery and two stores. Its population, including Chinese market gardeners, grew to a peak of around 130 in 1894. A postal receiving office operated from 1888 until 1914.</p> <p>In 1893 the Big Reef Gold Mining Company went into liquidation due to extravagant management and poor returns. Many miners moved on to Croydon and Charters Towers. Carl Karius, who stayed on, purchased the mine and battery cheaply and did well until the early 1900s. In 1910 the Chillagoe Company purchased the Big Reef as one of its Forsayth group of mines, but the mine was closed in 1915.</p> <p>The battery continued to crush odd parcels of ore for neighbouring mines. Until 1923, gold was obtained from cyanide treatment of the main dumps. Brick engine mounts still survive at the battery site. Remnant foundations may be scattered across the site. The dam also survives.</p>
Havelock Mill & Tramway Formation - Gold – Copper (remnants)	Goldsmith Road 2km south of Forsayth and above the east bank of Havelock Creek. 34/AP11612 	(a) (c)	<p>It is unclear if any structures survive. The Havelock battery was originally known as the Sir Henry Havelock and was first worked in 1878.</p> <p>A central ore treatment mill for the group was erected on the hill above the Havelock mine in 1912 and a tramway was constructed to link the mill with the railway at Forsayth.</p> <p>The erection of a new battery was delayed in 1911 because of strikes in both England and Australia. In 1912 the powerhouse with a 35m chimney was completed and stonebreakers, ore bins,</p>

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>tube and roller mills and agitators were being constructed.</p> <p>Too much capital was spent on surface equipment and not enough on mine development and in 1915, the powerhouse plant was relocated to the company's newly opened Mount Mulligan colliery. The battery continued operating sporadically until the 1920s. It was reopened in the 1930s and was the only mine still operating on the Forsayth field by the 1940s. It closed in 1950.</p> <p>Ewamian people have a special association with the Havelock Mine area where there was an Aboriginal camp. In 1919, two Aboriginal people were buried at the Havelock Aboriginal Camp.</p>
Dry Hash Mine & Battery - Gold, Silver, Lead (remnants)	<p>7km North-west of Forsayth on a western bank of the Delaney River.</p> <p>5306/SP201262</p>	(a) (c)	<p>Production from the Dry Hash Reef commenced around 1900, but the reef was probably worked on a small scale before this. Between 1932 and 1940, the mine produced smelted ore, gold and silver, lead and copper. The mine was then considered to be worked out.</p>
<p>Nil Desperandum Mine, Tramway (remnants)</p> 	<p>2km north of Forsayth on the east bank of the Delaney River, Charleston Town</p> <p>5/C4521</p>	(a) (c)	<p>The Nil Desperandum Mine, tramway and Charleston Township are significant in Queensland's history for demonstrating the development of a settlement complex around a mine site from 1871 to 1914 on the Etheridge goldfield.</p> <p>The gold-bearing reef was discovered in 1871 by Finnigan and was originally known as Finnigan's Camp. From 1892, a considerable amount of new machinery was installed at the Nil Desperandum. In 1907, the Chillagoe Company purchased the "Charleston group" and a subsidiary company, the Etheridge Gold Mines Limited, was formed to work the mines in 1910. The Chillagoe Company connected the Nil Desperandum mine to the railway. The mine presumably closed when the Chillagoe smelters closed in 1914.</p>
Percyville township batteries – Gold (remnants)	<p>50km south of Forsayth</p>	(a) (c)	<p>Total production from 1912 to 1917 on the Percyville Goldfield was 2,080 tonnes of ore, which yielded 150kg (3,950 oz) gold, 400kg (10,334 oz) silver, and 90 tonnes copper; 13 tonnes of lead were won in 1912.</p> <p>In May 1920, the Government Geologist, Dr Harold Ingemann Jensen, recommended that a modern battery be constructed at Kidston. By September</p>

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			the Union Battery at Percyville was being dismantled and the machinery moved to Kidston, while other machinery was obtained from the Big Reef (Castleton).
Mosquito Creek Smelter - Silver, Lead (remnants)	15km south-west of Forsayth, access by way of the Forsayth - North Head Homestead Road. 4965/PH960	(a) (c)	The first mining activity at Mosquito Creek likely dates to the late 1880s. By 1907, several silver-lead mines were worked on the Mosquito Creek lode. In 1908, the Mosquito Creek (Queensland) Prospecting Company was formed. By 1912, the Southern Cross mine had about 1000 tons of silver-lead ore opened up and regular parcels of ore were sent to the Mosquito Creek Smelter. It is not known exactly when the smelter was built or by whom, but likely predates the activities of the Chillagoe Company at Mosquito Creek.
Hall's Battery – Gold (remnants)	50km South-east of Forsayth. 5173/PH807	(a) (c)	Local information indicates that the five-head battery was erected on the Percy River just west of Percyville Township in 1936. The owner was Bill Hall who lived in the abandoned Percyville police lock-up.
Gilberton Township Batteries - Gold	75km south of Forsayth on the Einasleigh - Gilberton Road. 2/VR7		<p>Gilberton was the first township on the Etheridge Goldfield after Richard Daintree found gold on the Gilbert River in 1869. By 1869, the township of Gilberton had a number of stores. In 1870, the population was increasing steadily due to the arrival of Chinese workers.</p> <p>The Commissioner's Hill diggings were among the first worked at Gilberton. The Commissioner's, Armageddon and Artemus Ward Reefs had their first crushing's in 1871. By 1871, there were at least six lines of reef on Commissioner's Hill. The town survived until 1873 when the Palmer River rush and clashes with local Aboriginal people caused a mass exodus and abandonment of the town.</p> <p>Clashes between Ewamian, Chinese and Europeans were common from the earliest settlement of Gilberton. Ewamian people led raids for nearly 10 years on lone travellers and Chinese miners in the Gilbert district. On 21 November 1873, Aboriginal people systemically attacked buildings in Gilberton, causing the remaining miners to abandon Gilberton as well as nearby Six Mile, Eight Mile, Twelve Mile,</p>

Place Name	Location / Real Property Description	Heritage criteria	Statement of historical significance
			<p>Percyville and Mount Hogan (Hooper, C. 1995, Angor to Zillmanton p59).</p> <p>By 1878 European and Chinese miners were returning. By 1880 Gilberton had several pubs and stores, Chinese gardens and a police office. In 1883 the town was re-established with three hotels, four Chinese stores and a butcher.</p> <p>In 1891 there was a revival with two hotels, two stores, a butcher shop and the crushing mill re-commissioned. Between 30 and 100 men were fossicking in 1900. In 1909 the town was deserted for the Oaks Goldfield rush. In 1917 the industry of Gilberton was consisting of unsuccessful fossicking, a couple of mines and cyanide works.</p> <p>The stone fort (hut) has been restored and still exists on site.</p>

Table SC3.2 – State Heritage Places

Queensland heritage register number	Place Name	Address
602586	Einasleigh Copper Mine and Smelter	Daintree Road, Einasleigh
602331	Einasleigh Hotel	Daintree Street, Einasleigh
600505	Station Master's Residence, Einasleigh (former)	Railway Reserve, Einasleigh
601921	Mount Moran Battery	New Woolgar Road, Forsayth
600507	Station Master's Residence, Forsayth (former)	Fourth Street, Forsayth
601628	Antbed House	South Street, Georgetown
602245	Aspasia Mine and Battery	Gulf Development Road, Georgetown
601856	Ortona Mine and Battery	Forsyth – Agate Creek – Ortona (Iona) Station Road, Georgetown
601855	Joseph Morris Mine	Georgetown Mining District, Gilberton
600506	Kidston State Battery and Township	Georgetown Mining District, Kidston
602259	No.53 RDF Station	Gulf Developmental Road, Mount Surprise
602232	Quartz Hill Coach Change Station Site and Cemetery	Via Mount Surprise, Mount Surprise
601637	Etheridge Railway	Railway stations at Mount Surprise, Einasleigh and Forsayth, and railway reserve between Mount Surprise and Forsayth, including siding at Wirra Wirra, Forsayth

Note: The above list was current at the time of the gazettal of this planning scheme. State heritage places are listed in the Queensland Heritage Register and are also mapped on SPP Mapping - Environment and Heritage - Cultural Heritage. Development on State heritage places is assessable by the State Government. For further information see the [Department of Environment and Science website](#).

Schedule 4—Aboriginal Cultural Significance Planning Scheme Policy

SC4.1 Purpose

The purpose of this policy is to support the planning scheme by acknowledging the traditional owners of the land within Etheridge Shire, and by providing guidance on the protection of areas, places and objects of Aboriginal cultural significance. The policy is to ensure new uses, developments and works do not adversely impact sites and features of Aboriginal cultural heritage and archaeological significance.

SC4.2 Background

Aboriginal People have had for many thousands of years, and continue to have, an intrinsic connection to country in Etheridge Shire. The traditional owners of the majority of land within the shire are the Ewamian People, who have determined Native Title rights over large areas of land within the shire.

The Tagalaka, Gugu Badhun and Wakaman Peoples also have some determined Native Title rights and other connections to country within Etheridge Shire. The Tagalaka People have determined Native Title rights over a western portion of the shire; the Gugu Badhun People have determined Native Title rights over a small portion of land in the east of the shire; and the Wakaman People have a registered Native Title claim which slimly overlaps into a northern fragment of the shire.

Both the Ewamian Tatampi Puranga Aboriginal Corporation RNTBC (Registered Native Title Body Corporate) and the Ewamian Aboriginal Corporation represent the Ewamian People, who have an established vision for their country and culture, that being: sustainable economic, cultural, community and environmental outcomes for Ewamian people and country. The Tagalaka People are represented by the Tagalaka Aboriginal Corporation RNTBC who also have a strong and optimistic vision for their country and culture; healthy country is a key principle for engagement with the Tagalaka People. The Gugu Badhun Aboriginal Corporation RNTBC who represent Gugu Badhun People also have a vision for their people and aims to enable protection, maintenance, care and development of community, culture and country. The Wakaman people are similarly passionate about the protection and care of their country and culture and are currently seeking a determination of their Native Title through the Federal Court.

All the traditional owner groups with country in Etheridge Shire have a strong cultural connection to the land and many places of cultural significance exist within the shire.

SC4.3 Consultation

Consultation with the relevant Aboriginal party for an area is necessary if there is a high risk that the activity may harm Aboriginal cultural heritage. The views of the Aboriginal party for an area are key in assessing and managing any activity likely to excavate, relocate, remove or harm Aboriginal cultural heritage. Section 4.7 at the end of this policy provides contact details for the Ewamian, Tagalaka, Gugu Badhun and Wakaman Peoples.

Where an activity involves no surface disturbance of an area, or is proposed in a developed area or an area previously subject to significant ground disturbance, it is generally unlikely that the activity will harm Aboriginal cultural heritage. Where an activity causes no additional surface disturbance of an area it is also generally unlikely that the activity will harm Aboriginal cultural heritage or could cause additional harm to Aboriginal cultural heritage to that which has already occurred (e.g. grazing cattle or growing crops on land already used for that purpose, the use and maintenance of existing services and facilities).

Activities causing significant additional ground surface disturbance pose a risk to Aboriginal cultural heritage. Where it is proposed to undertake activities causing additional surface disturbance to features likely to have cultural heritage significance then advice may need to be sought from the Aboriginal party as to:

- whether the feature constitutes Aboriginal cultural heritage; and

- if it does, agreement as to how best the activity may be managed to avoid or minimise harm to any Aboriginal cultural heritage.

If at any time during the any activity it is necessary to remove, relocate or harm a Cultural Heritage Find the activity should cease immediately, and consultation occur with the Aboriginal Party as to how best manage the activity from there on in.

Ask First – A guide to respecting Indigenous heritage places and values, provides a practical guide to consulting and negotiating with Aboriginal People about their cultural heritage. Available from the Australian Heritage Commission website: <http://www.environment.gov.au/heritage/ahc/publications/ask-first-guide-respecting-indigenousheritage-places-and-values>

SC4.4 Relationship to planning scheme

The *Planning Act 2016* stipulates the consideration of Aboriginal Peoples' knowledge, culture and tradition as an integral part of advancing the purpose of the Act. Advancing the purpose of the *Planning Act 2016* includes 'valuing, protecting and promoting Aboriginal knowledge, culture and tradition' (s.5(2)(d)).

Planning schemes must value and recognise the importance of Aboriginal People's intrinsic connection to their land. The Etheridge Shire Planning Scheme does this in several ways and includes provisions in the strategic framework, information in the general development code, historical information in Table SC3.1 – Local Heritage Places, an Aboriginal cultural significance planning scheme policy and a map identifying an area of significance on the outskirts of Georgetown (PM-1 Areas of Cultural Significance).

The rights of determined native title holders on designated Aboriginal reserve land are supported and not compromised by the planning scheme. On designated Aboriginal reserve or freehold land in rural areas, planning scheme approvals are not required for carrying out traditional activities or undertaking cultural uses of the land (such as an outstation).

In regard to the map, PM-1 Areas of Cultural Significance, it is important to note that there are many more areas and sites of Aboriginal cultural significance that have not been identified in the planning scheme. All places of Aboriginal cultural heritage are protected under the *Aboriginal Cultural Heritage Act 2003* whether or not they are mapped in the planning scheme. The planning scheme map only identifies a few land parcels on the outskirts of Georgetown known as containing sites of cultural significance.

Developers and land users must discharge their duty of care under the *Aboriginal Cultural Heritage Act 2003*, particularly where development is proposed which would involve surface disturbance beyond that which has already occurred. They must also adhere to the provisions in the planning scheme, which further support the need for anyone carrying out a land-use activity to avoid impacts on Aboriginal cultural heritage.

There is also an obligation for developers and land users to comply with all the requirements of the *Native Title Act 1993*. The *Native Title Act 1993* sets out processes for when and how to engage with traditional owners about works proposed over their land and waters; and provides direction on the ability for traditional owners to exercise their rights.

SC4.5 Duty of care

Section 23(1) of the *Aboriginal Cultural Heritage Act 2003* requires that a person who carries out an activity must take all reasonable and practical measures to ensure the activity does not harm Aboriginal heritage (the 'cultural heritage duty of care').

The duty of care applies to any activity where Aboriginal cultural heritage is located. This includes cultural heritage located on freehold land, regardless of whether it has or has not been identified or recorded in a database. A cultural heritage database and cultural heritage register have been established and are administered by the Department of Aboriginal and Torres Strait Islander Partnerships (DATSIP). The

database is not publicly available, however land users and developers can request information from DATSIP to help satisfy their duty of care.

The cultural heritage duty of care can be met by acting:

- under an approved Cultural Heritage Management Plan (CHMP);
- under a native title agreement or another agreement with an Aboriginal party that addresses cultural heritage;
- in compliance with native title protection conditions, but only if the conditions address cultural heritage;
- in compliance with gazetted cultural heritage duty of care guidelines.

An activity is taken to have complied with the cultural heritage duty of care if the activity is necessary because of an emergency such as a natural disaster.

SC4.6 Duty of care guidelines

Guidelines have been developed to assist land users in assessing reasonable and practicable measures for meeting the cultural heritage duty of care. Land users should consult the duty of care guidelines before undertaking a land-use activity.

The guidelines recognise that

- some activities are unlikely to harm Aboriginal cultural heritage;
- the nature and extent of past land uses in an area may mean that any further activity in the area is unlikely to harm Aboriginal cultural heritage.

However, land users should exercise greater caution before proceeding with an activity in circumstances where the nature and extent of the past land use of an area may not have impacted on the continued presence of Aboriginal cultural heritage.

SC4.7 Contacts and key resources

The cultural heritage duty of care guidelines can be accessed via the Department of Aboriginal and Torres Strait Islander Partnerships website www.datsip.qld.gov.au

Further information about native title can be found at www.nntt.gov.au

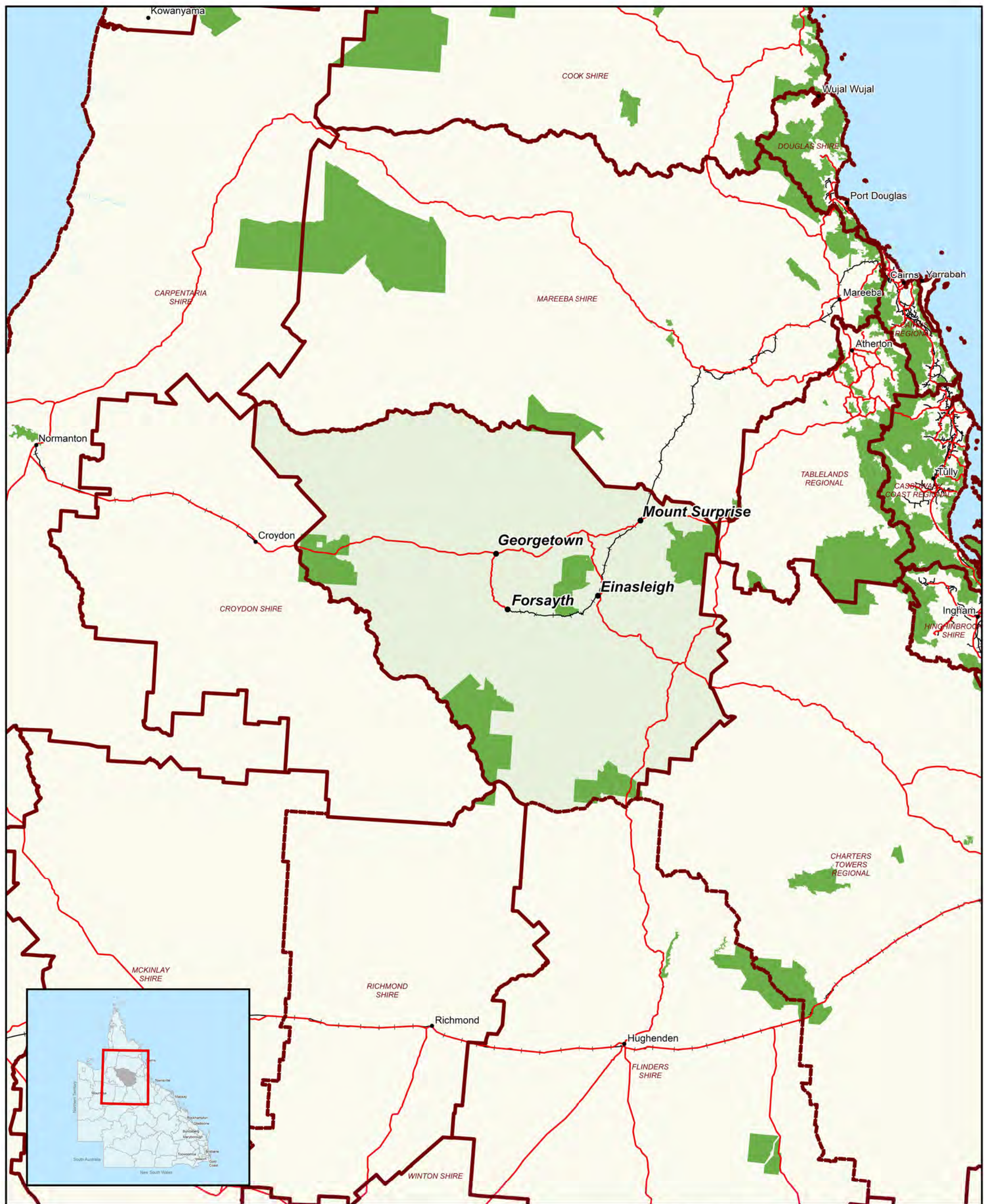
Enquiries with regards to the cultural heritage database contact the Site Registrar on telephone 1300 378 401 or email cultural.heritage@datsip.qld.gov

The Ewamian Tatampi Parunga Aboriginal Corporation and Ewamian Aboriginal Corporation can be contacted by telephone on (07) 4092 2555, by mail PO Box 1535 Mareeba QLD 4880, by emailing admin@ewamian.com.au or via their website <https://www.ewamian.com.au/>

The Tagalaka Aboriginal Corporation (TAC) can be contacted by emailing tagalakcontact@gmail.com or by the emailing the chairman of TAC at chairtagalaka@yahoo.com

The Gugu Badhun Aboriginal Corporation (GBAC) can be contacted by emailing coordinator@gbac-mtbc.org.au

The Wakaman People can be contacted via the North Queensland Land Council on telephone (freecall) 1800 814 779 or by emailing pbcsupport@nqlc.com.au



- Legend**
- State Controlled Road
 - +— Railway
 - Parks and Reserves
 - ▭ Local Government Area Boundary
 - ▭ Etheridge Shire

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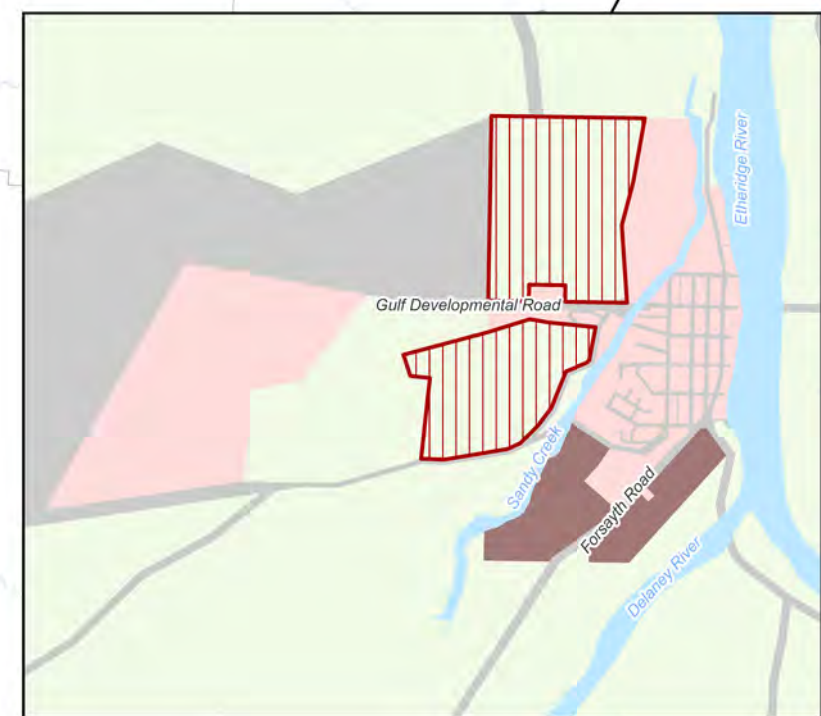
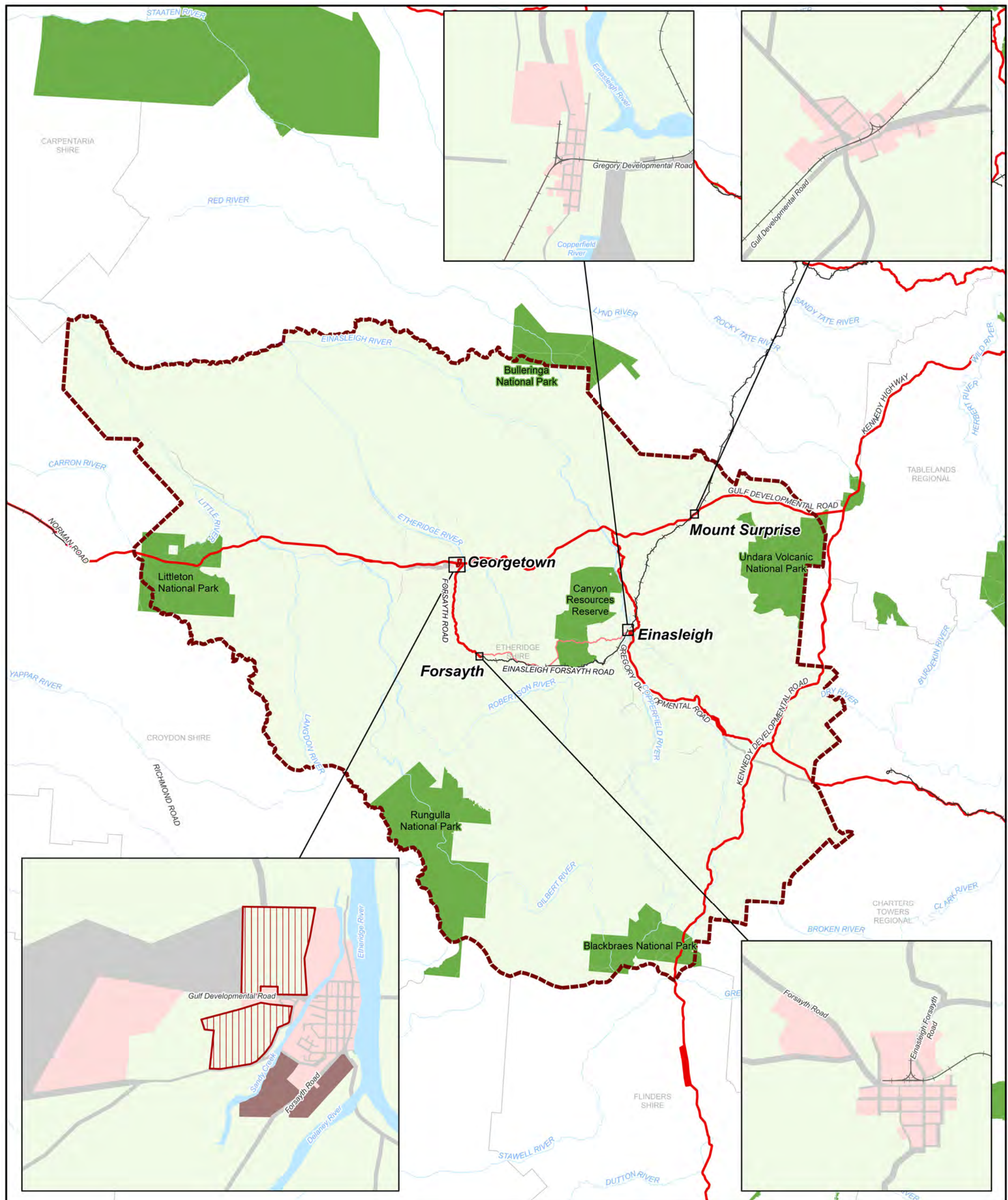
0 10 20 30 40 50
Kilometres
Map Size: A3
Coordinate System: GDA 1994 MGA Zone 55
Projection: Transverse Mercator
Datum: GDA 1994

CM-1 Etheridge Shire Planning Scheme Context Map

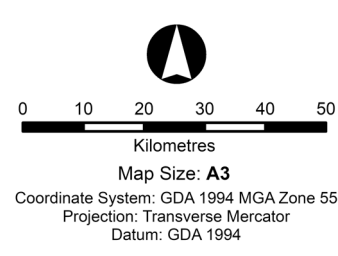
Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024



Etheridge Shire Council
The Golden Heart of the Gulf



- Legend**
- Railway
 - Other road
 - Watercourse
 - Water parcels
 - Road parcels
 - Etheridge Local Government Area
 - Urban land
 - Urban
 - Non-urban land
 - Rural
 - Future Rural Residential



SFM-1 Etheridge Shire Planning Scheme Strategic Framework

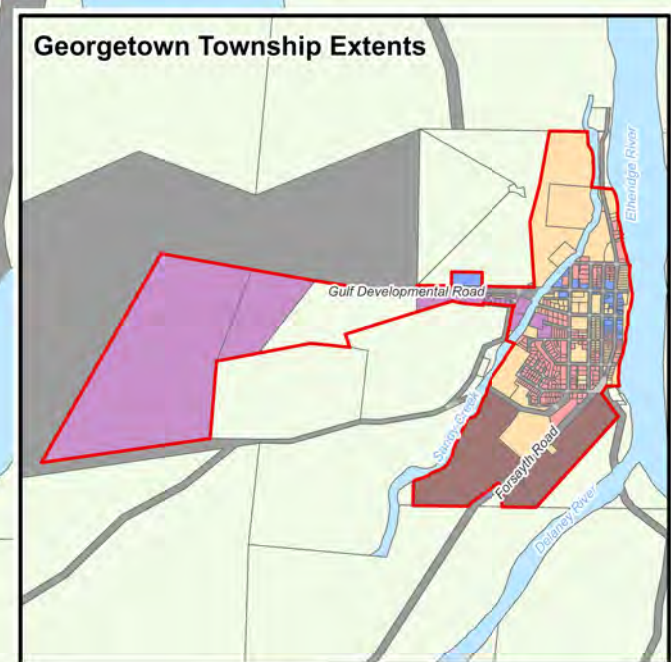
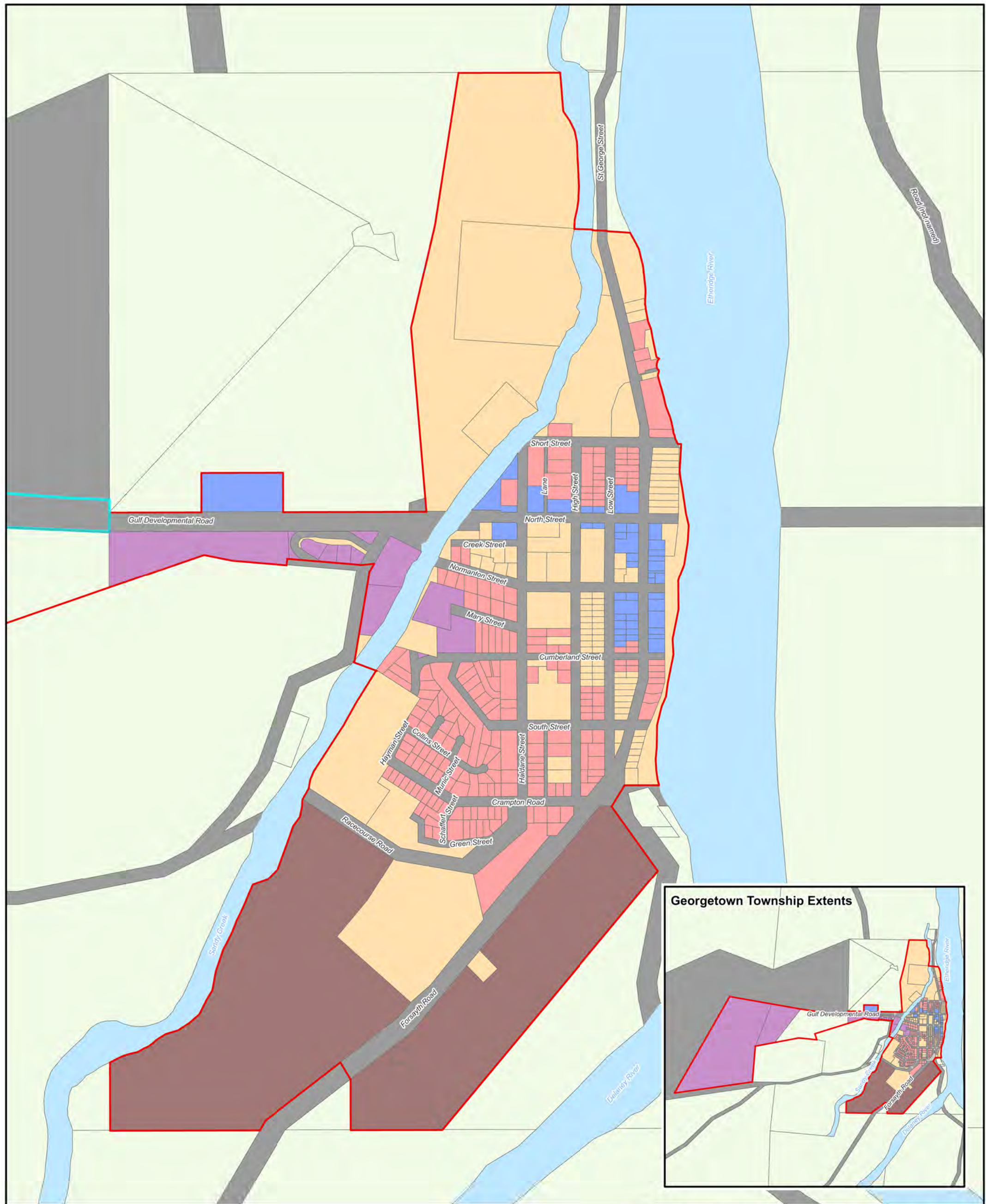
Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning Spatial Services Unit for Etheridge Shire Council 16/12/2024



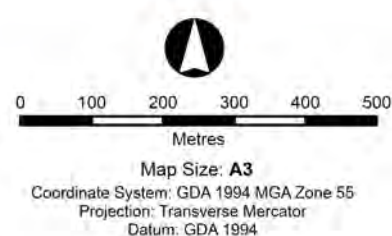
Etheridge Shire Council
The Golden Heart of the Gulf

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- Legend**
- Georgetown township boundary
 - Water parcels
 - Road parcels
- Zones**
- Rural
 - Township (no precinct)
- Precincts**
- Township zone, Commercial precinct
 - Township zone, Industrial precinct
 - Township zone, Residential precinct
 - Township zone, Rural residential precinct



ZM-2 Etheridge Shire Planning Scheme Georgetown Zones and Precincts

Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024

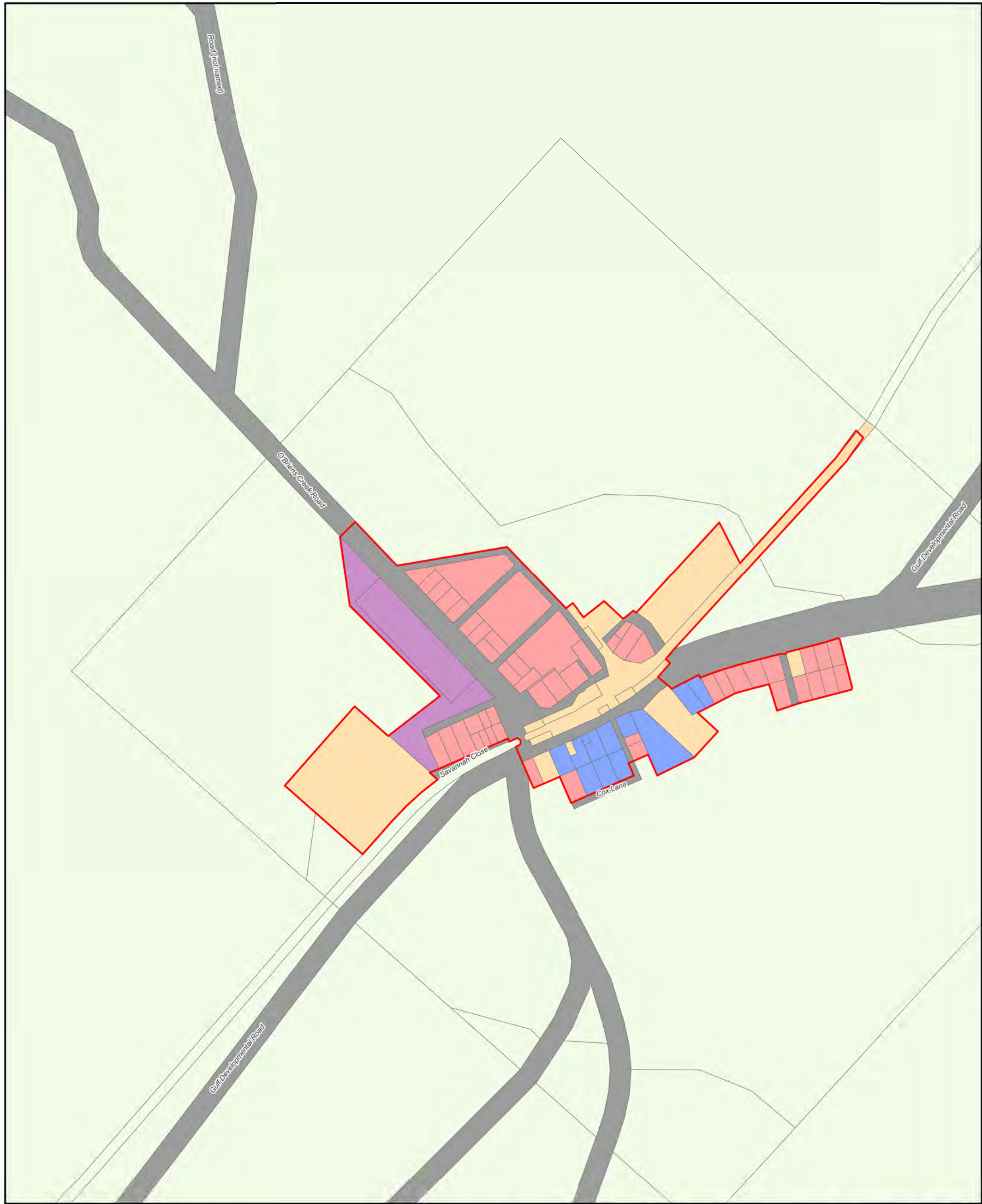


Etheridge Shire Council

The Golden Heart of the Gulf

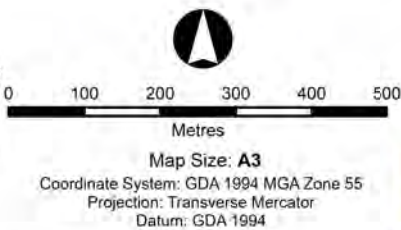
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- Legend**
- Mount Surprise Township Boundary
 - Road parcels
 - Zones**
 - Rural
 - Township (no precinct)

- Precincts**
- Township zone, Commercial precinct
 - Township zone, Industrial precinct
 - Township zone, Residential precinct



**ZM-3 Etheridge Shire Planning Scheme
Mount Surprise Zones and Precincts**

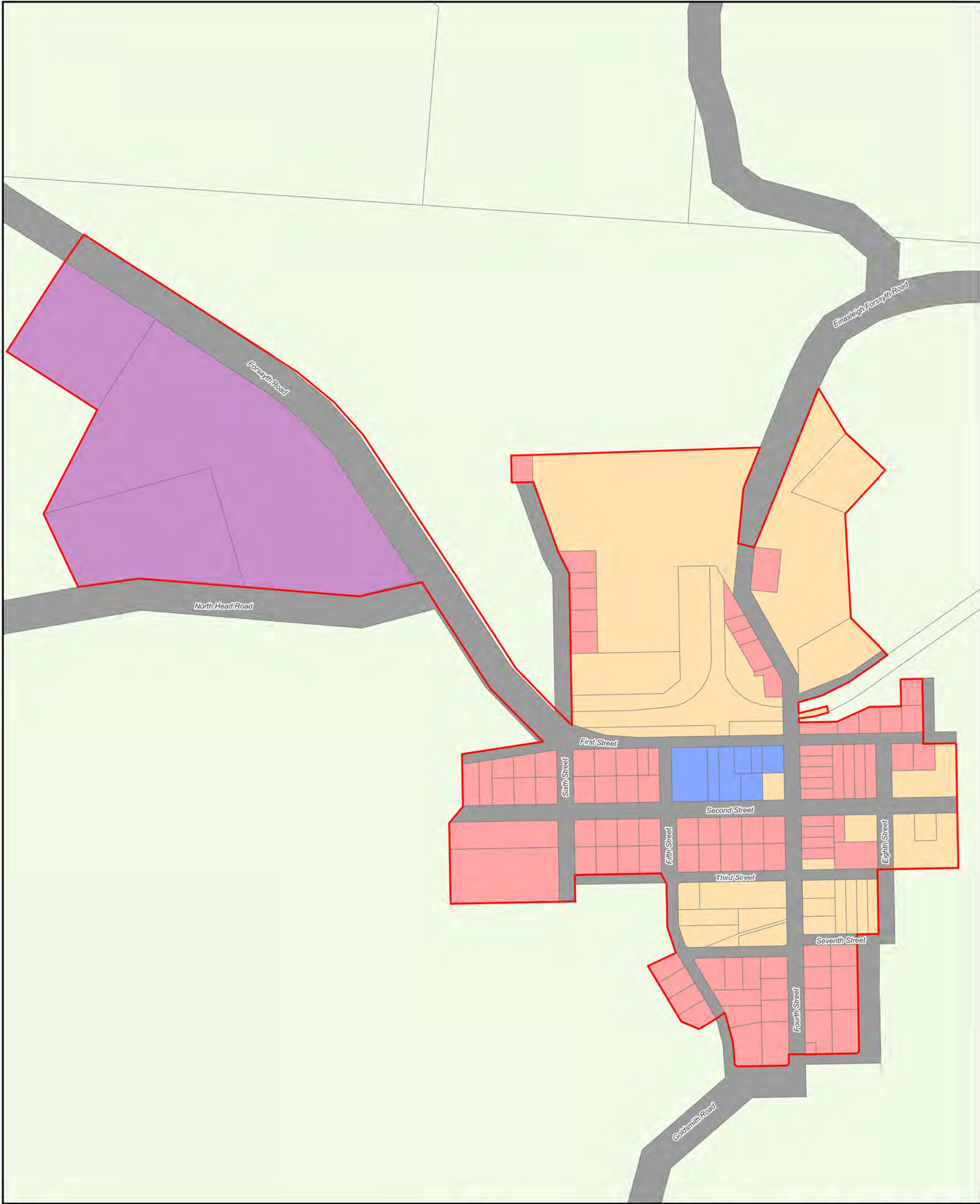
Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024

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Etheridge Shire Council
The Golden Heart of the Gulf



- Legend**

Forsyth Township Boundary

Road parcels

Zones

Rural

Township zone (no precinct)

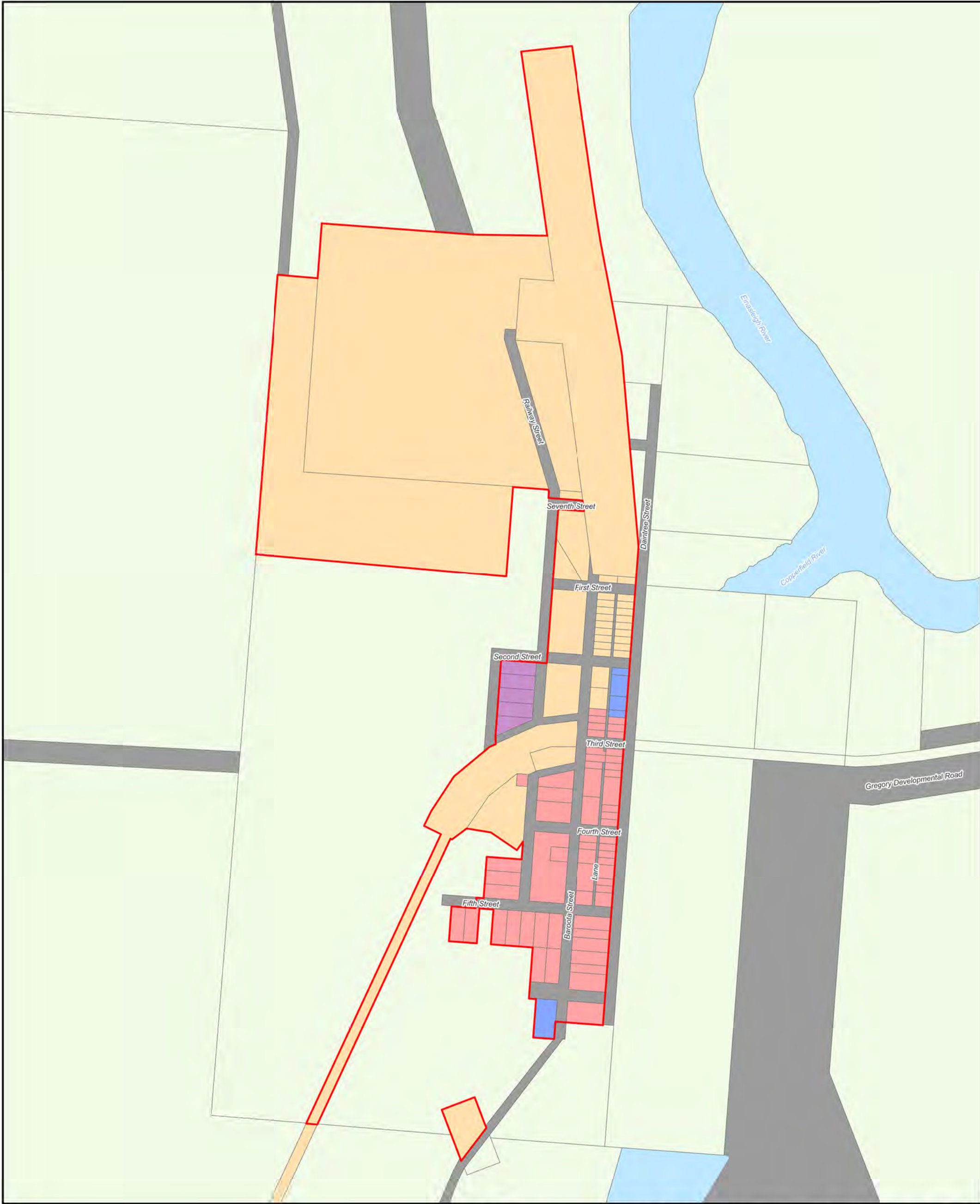
Precincts

Township zone, Commercial precinct

Township zone, Industrial precinct

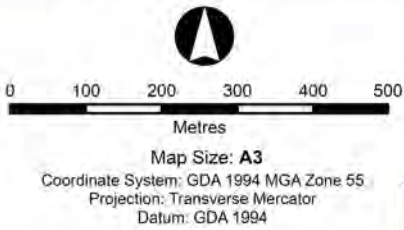
Township zone, Residential precinct
- A scale bar showing distances from 0 to 250 metres. Below it, text indicates 'Map Size: A3', 'Coordinate System: GDA 1994 MGA Zone 55', 'Projection: Transverse Mercator', and 'Datum: GDA 1994'.
- ## ZM-4 Etheridge Shire Planning Scheme Forsyth Zones and Precincts
- Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024
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- The logo for Etheridge Shire Council, featuring a stylized illustration of a person in a hat and boots, with the text 'BEEF GOLD', 'THE GOLDEN SHIRE', and 'BEER' integrated into the design.
- ## Etheridge Shire Council

The Golden Heart of the Gulf
- Page 143 of 287
- Path: G:\AU011658\ArcGIS\ArcGIS Project\Etheridge Shire Planning Scheme\Etheridge Shire Planning Scheme.aprx



Legend

- Einasleigh Township Boundary
- Township (no precinct)
- Water parcels
- Road parcels
- Zones**
- Rural
- Precincts**
- Township zone, Commercial precinct
- Township zone, Industrial precinct
- Township zone, Residential precinct



**ZM-5 Etheridge Shire Planning Scheme
Einasleigh Zones and Precincts**

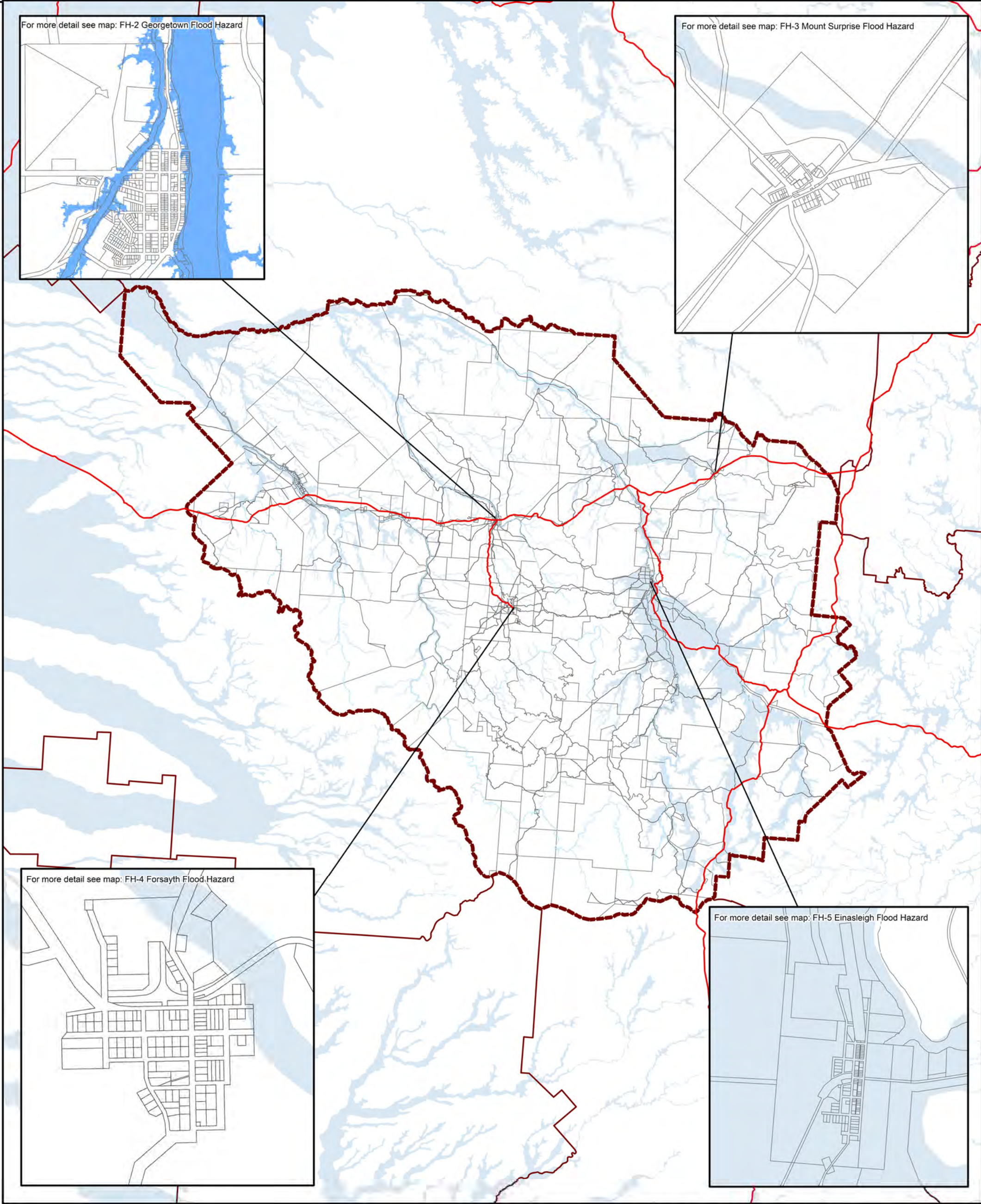
Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024



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The Golden Heart of the Gulf

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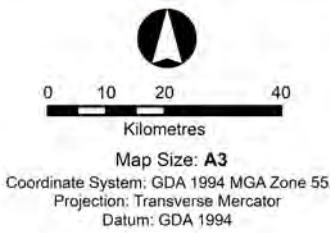


Legend

- Watercourse
- Queensland Floodplain Assessment Overlay
- 1% Annual Exceedance Probability (Georgetown only)
- Lot Boundary
- Etheridge Local Government Area
- LGA Boundary
- State Controlled Road

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**FH-1 Etheridge Shire Planning Scheme
Queensland Floodplain Assessment Overlay**

Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024





Etheridge Shire Council

The Golden Heart of the Gulf



Legend

-  Lot Boundary
-  1% Annual Exceedance Probability Flood Event
6.91m at BoM Gauge 030018
(291.07m AHD)



0 100 200 400
Metres

Map Size: **A3**
Coordinate System: GDA 1994 MGA Zone 55
Projection: Transverse Mercator
Datum: GDA 1994

**FH-2 Etheridge Shire Planning Scheme
Georgetown Flood Hazard**

Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024



Etheridge Shire Council

The Golden Heart of the Gulf

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Legend

Lot Boundary

Queensland Floodplain Assessment Overlay

0 100 200 400

Metres

Map Size: **A3**

Coordinate System: GDA 1994 MGA Zone 55

Projection: Transverse Mercator

Datum: GDA 1994

FH-3 Etheridge Shire Planning Scheme Mount Surprise Flood Hazard

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Spatial Services Unit for Etheridge Shire Council, 16/12/2024

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Etheridge Shire Council
The Golden Heart of the Gulf



Legend

 Lot Boundary

 Queensland Floodplain Assessment Overlay



0 50 100 200

Metres

Map Size: **A3**

Coordinate System: GDA 1994 MGA Zone 55

Projection: Transverse Mercator

Datum: GDA 1994

FH-4 Etheridge Shire Planning Scheme Forsayth Flood Hazard

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Spatial Services Unit for Etheridge Shire Council, 16/12/2024

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Etheridge Shire Council
The Golden Heart of the Gulf



Legend

 Lot Boundary

 Queensland Floodplain Assessment Overlay



0 100 200 400

Metres

Map Size: **A3**

Coordinate System: GDA 1994 MGA Zone 55

Projection: Transverse Mercator

Datum: GDA 1994

**FH-5 Etheridge Shire Planning Scheme
Einasleigh Flood Hazard**

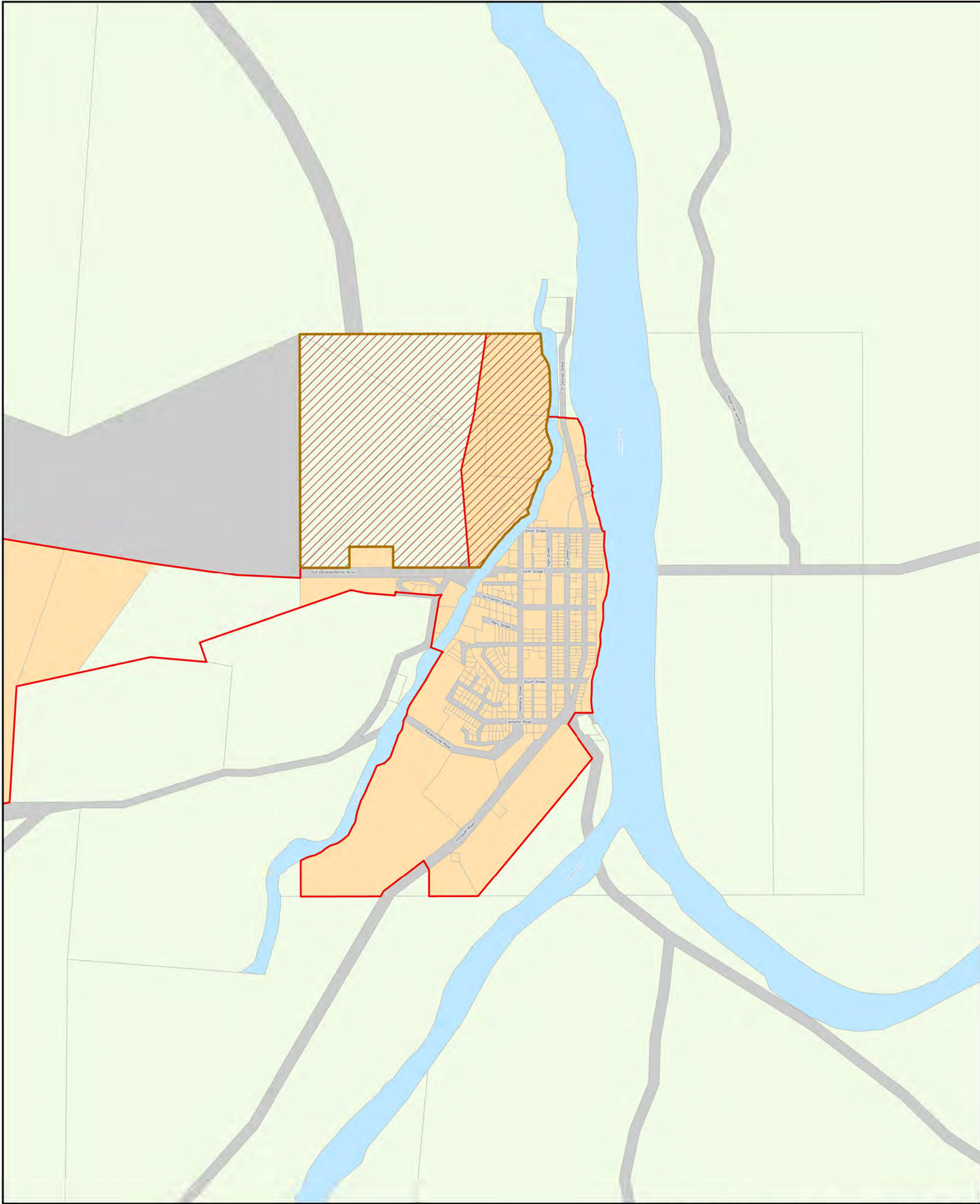
Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
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Etheridge Shire Council
The Golden Heart of the Gulf



- Legend**
- Georgetown township boundary
 - Water parcels
 - Road parcels
- Zones**
- Rural

- Georgetown township
- Area containing places of cultural significance to the Ewamian People (indicative only)

0 100 200 300 400 500
Metres

Map Size: A3
Coordinate System: GDA 1994 MGA Zone 55
Projection: Transverse Mercator
Datum: GDA 1994

PM-1 Etheridge Shire Planning Scheme Areas of Cultural Significance

Map produced by the Department of State Development, Manufacturing, Infrastructure and Planning
Spatial Services Unit for Etheridge Shire Council, 16/12/2024



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GENERAL MEETING: June 2025

Mayor and Councillors
Etheridge Shire Council
PO Box 12
Georgetown, QLD 4871

Councillors,
I present my report for the period of: May 2025

Financial**1. 2025/2026 Budget**

Council is currently in the process of preparing the 2025/2026 budget and has scheduled numerous Councillor workshops to assist in working through this process. Visits were held in each of the communities last month as part of this effort to engage with residents, gather feedback and ensure local priorities are considered in the upcoming budget. Council are currently progressing well and intend to have the budget adopted by Council by 31st July 2025.

2. Finance Working Group

The finance working group are currently attending to budget preparation and draft grants register.

Audit Update**3. Internal Audit**

The Finance Working Group has reviewed the due dates for outstanding audit actions. Once presented back to the Audit Committee, Council's priorities can be highlighted to ensure timely completion of audit requirements and alignment of financial planning with the Council's strategic goals.

4. External Audit

Council have confirmed with BDO for the Interim Audit to occur in the week beginning 23rd June 2025 and final audit in the week beginning 8th September 2025.

5. Audit Committee

The next Audit Committee meeting was to be scheduled for May, but conflicting calendars between committee members and advisors has caused delays. An Audit Committee Meeting has been scheduled for Tuesday 17th June 2025.

Council Projects**6. Council Facility Keyless Entry System**

Council has appointed Natashka to be the team project lead. Natashka has finished the development of the website. The contractor has completed works (wireless connection, security cameras and door locking) in the week beginning 5th May 2025. One more visit is required to complete the project which is scheduled for June 2025.

7. Independent Living Facility – Housing Infrastructure Grant

Preston Law has drafted tenancy guidelines, agreements and policies which have been submitted to the Department for approval. Council is currently advertising as per Department guidelines to satisfy the funding requirements. Project build complete (refer DES). Draft documents for the two houses under the Affordable Housing Scheme (by agreement with Dept. of Housing) are included within the June Agenda to enable tenders to go out as soon as possible. Further work is required by Council to finalise eligibility for the four other houses.

8. Snap Send Solve Roll Out

The program is live, and Council are promoting across their media channels. Furthermore, posters are currently being distributed to all of Council's facilities in the shires including public amenities and public facilities.

9. Electronic Noticeboards

Council resolved to allow for Council own source funds to finalise this project. Council is still undergoing investigations into best option for SMS messaging however unspent Get Ready Funds could be utilised for this initiative.

10. Commercial Lease Negotiations

Council have received the market appraisal of the property and begun negotiations with the current tenant. A meeting is scheduled for Monday 16th June to commence discussions with the CEO.

11. Lot 4 on CD35 (Lynd Medical Centre)

Council has now been issued with the Title Deed and the premises is fully stock fenced. No further action is planned for this matter.

12. Sustainable Destinations Project

Council has received the 2025 Audit & recertification process. The audit timeline will be communicated once confirmed with the auditor. ELT will progress with Council regarding any budgetary considerations required for future memberships.

13. CMS Transition

LGAQ are currently our host for CMS (3 websites – 2 active being Council and Unearth Etheridge) and Council will be transitioning from Jadu to Granicus. DCS and IT are liaising with Granicus throughout rollout.

14. Community Learning Hubs – Mt Surprise

Council have begun preliminary discussions with suppliers. Site investigation has been completed at Mount Surprise and concept plans provided. Procurement of equipment is underway.

15. Biosecurity Advisory Committee

Local Law Amendment – No further action taken. CEO to provide further advice.

ESC Biosecurity Plan – Awaiting next Biosecurity Advisory Committee meeting scheduled for July 2025.

Events & Commitments

DATE	ORGANISATION	TOPIC
19/05/2025	QPS	OIC Moderation
21/05/2025	ESC	May General Meeting
22/05/2025	ESC	Budget Workshop
26/05/2025	QPS	OIC Interviews
26/05/2025	LGMA	Governance Advisory Update
27-29/05/2025	ESC	Rates Review, Budget Workshops and Special Meeting
27/05/2025	ESC	Monthly Staff Meeting
30/05/2025	LGMA	Senior Executive Connect
2-6/06/2025		Annual Leave
03/06/2025	Dept of LG	Councillor Refresher Training
09/06/2025	Preston Law	Independent Living Facility Discussion
11/06/2025	ESC	Budget Workshop

Thankyou kindly,
Renee Bester
Director of Corporate Services

General Meeting 18th June 2025

Subject	Financial Performance as at 31-05-2025
Classification	Open
Author	Megan Alexanderson, Senior Finance Officer

EXECUTIVE SUMMARY

In accordance with section 204 of the Local Government Regulation 2012, a monthly finance report is required to be presented to Council stating the progress made in relation to the budget for the period of the financial year as near as practicable to the end of the month before the meeting held

RECOMMENDATION

That Council receives the financial statements for the period ended 31 May 2025 pursuant to, and in accordance with, the Local Government Regulation 2012 (s204).

BACKGROUND

The monthly financial report of Council provides a snapshot of Council's financial performance (Profit and Loss), financial position (Balance Sheet) and cash flow for the reporting period.

LINK TO CORPORATE PLAN

Corporate aim No 5 : Best practice corporate governance and organisational excellence.

Strategy No 5.3.1 ensure transparency of Council's financial operations and performance and promote awareness within the community of council's financial management and other strategies.

BUDGET & RESOURCE CONSIDERATIONS

There are no Budget or resource considerations contained within this report. The Annual budget is provided with the Financial Report for information purposes.

LEGAL CONSIDERATIONS

Section 204 of the Local Government Regulation 2012 requires the Chief Executive Officer to present a financial report to the Council's monthly meeting. The financial report is to be as close to the last day of the month of the reporting period as possible.

POLICY IMPLICATIONS

Advise if called

CONSULTATION

Please consult Council's Community Engagement Policy in conjunction with the IAP2 Spectrum for guidance.

Consultation	Tick	Policy Consideration	Action
No consultation required	<input type="checkbox"/>	Click or tap here to enter text.	Click or tap here to enter text.
Inform	<input checked="" type="checkbox"/>		
Consult	<input type="checkbox"/>		
Involve	<input type="checkbox"/>		
Collaborate	<input type="checkbox"/>		
Empower	<input type="checkbox"/>		

RISK ASSESSMENT

Risk Assessment Outcome: Low

Summary of broad and general risks and opportunities:

- Risk 1- Financial reports are covered by many Laws, regulations and standards and subject to public scrutiny.

- Risk 2- Ensuring our business focus is strategically oriented to adequately and efficiently predict and cover a reasonable range of possible situations and events.
- Risk 3 – To not be restricted unnecessarily by remoteness and access to resources resulting in Council losing its robustness and sustainable edge.
- Opportunity 1- As a responsibility, the Financial Reports are an excellent method to provide information to external parties and stake holders including ratepayers, the public and other interested parties in a simple and easy to understand format.
- Opportunity 2 – Being optimally positioned as a strong, well managed and prominent Far North Queensland mid-sized Council to make best use of any opportunities and possibilities available.

Report Prepared By:

Megan Alexanderson – Senior Finance Officer

Date:03-06-2025

Report Authorised By:

Renee Bester – Director of Corporate & Community Services

Date: 03-06-2025

ATTACHMENTS

Financial Reports

Etheridge Shire Council
Index of Attached Reports

May 2025

Index

- 1 Cash position
- 2 Comparative data
- 3 Financial highlights
- 4 Monthly cash flow estimate

Standard Reports

Capital Funding Detail - WIP report
PCS Revenue and Expenditure Budget
PCS Balance Sheet Summary
PCS Statement of Comprehensive Income
PCS Statement of Financial Position
PCS Statement of Cash Flows

Etheridge Shire Council

Cash Position

As at 31 May 2025

	G/L	Actual
Current Assets		
Bendigo Cash at Bank	0300-3000	\$ 508,478
Investments	0300-3005	\$ 12,466,405
22108 Ether Reserve CF	0300-3006	\$ 288,100
22821-2024 ILP and Staff Housing	0300-3007	\$ 4,137,194
NQRP North Qld Resilience Project	0300-3008	\$ -
Cash on Hand	0300-3020	\$ 1,500
		\$ 17,401,677
Cash back Current Liabilities		
Annual Leave Payable	0500-5300	\$ 500,739
Current LSL Payable	0500-5310	\$ 178,533
Accrued Time-in-Lieu	0500-5230	\$ 67,350
RDO	0500-5240	\$ 2,214
		\$ 748,836
Receivables		
Receivables - Debtors	0300-3200	\$ 128,813
Receivables - Rates	0300-3100	-\$ 673
Receivables - Govt Subsidy	0300-3150	-\$ 210
		\$ 127,929
Payables		
Accounts Payable	0500-5200	\$ 296,672
Emergency Fire Service Levy	0500-5220	\$ 69,060
Retentions Current	0500-5299	\$ 24,900
Current Loan - Forsayth Water	0500-5410	\$ 3,512
Current ILU Staff Housing 6M	0500-5411	\$ -
		\$ 394,143
Working Capital		\$ 16,386,626

Etheridge Shire Council

Comparative Data

May 2025

	2024-25	2023-24	2022-23	2021-22
Cash Position	17,401,677	16,209,619	6,716,172	15,651,241
Working Capital	16,386,626	16,300,728	6,238,398	13,467,212
Rate Arrears	- 673	180,101	99,144	32,185
Current Debtors	128,813	1,095,438	20,118	1,032,330
Current Creditors	296,672	332,175	160,848	835,841
Current Loan Payable	3,512	3,710	884	3,989

Etheridge Shire Council

Financial Highlights

As at 31 May 2025

	Actual	Budget	Percentage
Total revenue	59,358,551	63,350,439	94%

Statements are for 11 months of the financial year and generally would represent 92% of the overall budget.

The recurrent revenue is \$59.358M which is due to the receipt of the \$51.908M grants revenue including \$33.529M Flood Damage grants and \$8.128M of FAGS grants

Total expenditure	- 44,022,606	- 47,663,013	92%
--------------------------	--------------	--------------	-----

Statements are for 11 months of the financial year and generally would represent 92% of the overall budget.

Expenditure to date for Flood Damage	28,706,674
Expenditure to date for DTMR works	4,121,911
	<u>32,828,585</u>

Surplus/Deficit

The surplus net operating result is \$15.335M reflecting strong positive cash flows.

Etheridge Shire Council Monthly Cash Flow Estimate

May 2025

	Revenue	Expenditure
Revenue		
Rates	5,000	
Fees and Charges Billings	94,811	
Own Roads Program Recoveries	-	
Main Roads Invoiced Recoveries	308,270	
Grants Expected	758,175	
Flood Damage NDRRA	595,641	
GST	117,336	
Expenditure		
Payroll		560,000
Operating and Contractor Payables		3,000,000
PAYG-W; GST		140,000
Loan Payments		-
Capital Acq		-
Other		-
	<u>1,879,234</u>	<u>3,700,000</u>
Cash decrease expected during the next period	<u>1,820,766</u>	

WIP - May 2025						
	External Funding Amount	PREVIOUS YEARS (Opening balance)	YEAR TO DATE (ACTUALS)	TOTAL EXPENDITURE (ACTUALS)	PROJECT LIFE BUDGET	%
0400-4150-0000 Land & Land Improvements						
Completed projects						
3255-4500-0000		16,034.42	9,059.12	25,093.54	16,034.42	156%
		16,034.42	9,059.12	25,093.54	16,034.42	156%
0400-4250-0000 Buildings						
3610-4501-0001	2,000,000.00		4,518.00	4,518.00	2,000,000.00	0%
3610-4501-0002	2,000,000.00			-	2,000,000.00	0%
3610-4501-0003	47,830.00			-	47,830.00	0%
3610-4501-0004	50,000.00			-	50,000.00	0%
3280-4504-0000	3,000,000.00	50,655.70	2,588,107.77	2,638,763.47	3,100,000.00	85%
3280-4505-0000	3,000,000.00	1,119,497.87	2,386,218.23	3,505,716.10	3,522,065.00	100%
3412-4500-0001	1,580,000.00		4,518.00	4,518.00	1,580,000.00	0%
6010-4501-0000	4,400,000.00		51,139.25	51,139.25	4,653,750.00	1%
6010-4502-0000	1,880,000.00		58,252.08	58,252.08	2,133,750.00	3%
6010-4503-0000	1,100,000.00		50,953.00	50,953.00	1,353,750.00	4%
6010-4504-0000	855,000.00		50,953.00	50,953.00	1,108,750.00	5%
Carried forward projects 25-26						
4011-4501-0000			3,877.20	3,877.20	20,000.00	19%
Georgetown Streets - Georgetown Streetscaping & chairs						
Completed projects						
3080-4501-0000		86,798.12		86,798.12	86,798.12	100%
3295-4500-0000		3,251.19		3,251.19	3,251.19	100%
3350-4502-0003		9,136.40		9,136.40	9,136.40	100%
3411-4500-0001	400,000.00	366,670.20		366,670.20	400,000.00	92%
3411-4500-0002	270,000.00	114,393.31	34,846.56	149,239.87	270,000.00	55%
3411-4500-0003	250,000.00	213,312.55	9,165.14	222,477.69	250,000.00	89%
3411-4500-0004	100,000.00				-	
3411-4500-0005	100,000.00	39,603.45	78,306.76	117,910.21	100,000.00	118%
3411-4500-0006	40,000.00				-	
3620-4500-0001	500,000.00	569,004.97	30,115.95	599,120.92	575,000.00	104%
3620-4500-0002	45,602.00	45,452.61		45,452.61	45,602.00	100%
3620-4500-0003	400,000.00	428,053.23		428,053.23	400,000.00	107%
3620-4500-0004	40,000.00	6,024.00	3,451.25	9,475.25	262,888.00	4%
3620-4500-0005	240,000.00	252,644.99		252,644.99	240,000.00	105%
3620-4500-0006	52,000.00				-	
3620-4500-0007	40,000.00	9,036.95		9,036.95	40,000.00	23%
5030-4500-0001		112,975.54		112,975.54	112,975.54	100%
6010-4506-0001		34,305.68		34,305.68	34,305.68	100%
6030-4501-0000	50,000.00		112,749.20	112,749.20	113,410.00	99%
		3,460,816.76	5,467,171.39	8,815,238.95	24,399,851.93	36%
0400-4350-0000 Other Structures						
3620-4506-0001			18,902.62	18,902.62	900,000.00	2%
4500-4512-0000				-	20,000.00	0%
5151-4500-0000	120,000.00	65,218.15		65,218.15	120,000.00	54%
5151-4501-0000		448,134.28	81,137.49	529,271.77	448,134.28	118%
5151-4502-0001					132,000.00	0%
5151-4504-0000	600,000.00	200,368.91	606,735.58	807,104.49	862,800.00	94%
5151-4503-0001					90,000.00	0%

WIP - May 2025

	External Funding Amount	PREVIOUS YEARS (Opening balance)	YEAR TO DATE (ACTUALS)	TOTAL EXPENDITURE (ACTUALS)	PROJECT LIFE BUDGET	%
5151-4503-0002					4,800.00	0%
5151-4503-0003					18,000.00	0%
5152-4500-0004					10,000.00	0%
5152-4500-0000					25,000.00	0%
5163-4500-0001			13,413.44	13,413.44	30,000.00	45%
6010-4502-0001		36,807.48		36,807.48	36,807.48	100%
Carried forward projects 25-26						
5152-4500-0004					10,000.00	0%
Completed projects						
4011-4502-0000			27,646.52	27,646.52	-	-
4140-4506-0001		21,535.41	3,286.09	24,821.50	21,535.41	115%
5151-4507-0000	45,000.00	15,994.72	57,911.62	73,906.34	90,000.00	82%
		788,058.95	809,033.36	1,597,092.31	2,819,077.17	57%
0400-4450-00000 Fleet Plant & Equipment						
					100,000.00	0%
					100,000.00	0%
					100,000.00	0%
					100,000.00	0%
					100,000.00	0%
					546,391.93	0%
Completed projects						
4150-4500-1380			76,458.46	76,458.46	76,458.46	100%
4150-4500-1385			76,458.47	76,458.47	76,458.47	100%
4150-4500-2510			83,834.00	83,834.00	83,500.00	100%
4150-4500-2625			328,329.48	328,329.48	362,000.00	91%
4150-4500-2630			328,329.48	328,329.48	362,000.00	91%
4150-4500-2635			328,329.48	328,329.48	362,000.00	91%
4150-4500-2650			118,608.92	118,608.92	118,608.92	100%
4150-4500-3165			7,701.48	7,701.48	7,701.48	100%
4150-4500-4155			265,880.74	265,880.74	265,880.74	100%
			400,909.08	400,909.08	-	-
			1,213,021.43	1,213,021.43	2,761,000.00	44%

WIP - May 2025

	External Funding Amount	PREVIOUS YEARS (Opening balance)	YEAR TO DATE (ACTUALS)	TOTAL EXPENDITURE (ACTUALS)	PROJECT LIFE BUDGET	%
0400-4550-0000 Furniture & Other Equipment						
2060-4500-0001 Georgetown Stadium & Pool - Kevless Entry		22,477.55	7,228.80	29,706.35	29,706.35	100%
		22,477.55	7,228.80	29,706.35	29,706.35	100%
0400-4650-0000 Roads Infrastructure						
3620-4505-0004 LRCI Phase 4 - Resealing work on Einasleigh to Forsayth Rd Ch 16.48km to 26.00 km	189,892.00	189,892.00	189,892.00	189,892.00	189,892.00	100%
3620-4505-0014 LRCI Phase 4 - Replacement of 4 x 1050 mm diameter reinforced concrete pipe @ ch 26.398 km	66,000.00				66,000.00	0%
3620-4505-0016 LRCI Phase 4 - Dust pads Einasleigh Council Surplus funds	50,000.00				50,000.00	0%
4011-4500-0000 R2R 24-25 - Hayman Street Drainage	90,000.00	3,413.60	903.60	4,317.20	198,000.00	
4014-4500-0014 R2R - Mt Surprise Remedial Street drainage					93,413.60	5%
4011-4504-0000 R2R 25-26 - Patricia Road Upgrade - survey & design			5,381.44	5,381.44	60,000.00	0%
4014-4500-0000 R2R - 24-25 - Mt Surprise - Drainage - various	252,000.00	243,426.82	243,426.82	243,426.82	246,500.00	99%
4020-4550-0000 Road realignments (Percy vale Road)	40,000.00	5,672.60	5,672.60	5,672.60	-	
4020-4580-0000 NWQEDS10 - Caseys Rest Lookout	100,000.00	10,441.63	10,441.63	10,441.63	100,000.00	10%
R2R 24-25 - Replacement of 4 nos - 450 mm diameter Pipe culvert in Gilberton road at chainage 51.80 km	16,500.00				16,500.00	0%
4061-4504-0000 Reseals - Georgetown		195,454.65	-	195,454.65	654,454.65	30%
Carried forward projects 25-26						
3620-4505-0002 LRCI Phase 4 - Recon & Seal Oak Park Road/Bagstowe Homestead	79,698.00				79,698.00	0%
Recon & Sealing - Oak Park Road Bridge to Intersection (Ch 23.8km to 25.30km excl bridge)					618,200.00	0%
3620-4505-0003 LRCI Phase 4 - Design and reseal for Hayman	42,100.00				42,100.00	0%
Completed projects						
3620-4505-0005 LRCI Phase 4 - Cleaning Road Grids	7,900.00		7,572.67	7,572.67	7,900.00	96%
3620-4505-0006 LRCI Phase 4 - Install hip roof MultiPurp Cen	111,057.00		111,057.23	111,057.23	88,943.00	125%
3620-4505-0007 LRCI Phase 4 - Design & Reseal Undara Road	133,447.00		125,917.28	125,917.28	133,447.00	94%
3620-4505-0009 LRCI Phase 4 - Replacement of Media filter in Water Treatment Plant	50,000.00		59,344.93	59,344.93	50,000.00	119%
3620-4505-0011 LRCI Phase 4 - Supply and installation of waste transfer bins.	81,768.00		81,768.27	81,768.27	78,232.00	105%
3620-4505-0012 LRCI Phase 4 - Replacement of 4 x 1650 mm diameter reinforced concrete pipe- Kidston road @ ch 25.850 km	3,715.00		3,714.80	3,714.80	109,285.00	3%
3620-4505-0013 LRCI Phase 4 - Replacement of 4 x 1200 mm diameter reinforced concrete pipe @ ch 26.175 km	7,430.00		7,429.60	7,429.60	102,570.00	7%
3620-4505-0017 LRCI Phase 4 - Queensland Creek upgrade	352,250.00		238,369.01	238,369.01	352,250.00	68%
4040-4500-0000 TMR BRP - Queensland Creek upgrade	800,000.00	44,269.63	1,065,398.62	1,109,668.25	1,000,000.00	111%
3620-4505-0015 LRCI Phase 4 + QRA - Construction of box culvert and concrete floodway at Granite Creek on Gilberton Road	175,304.00		175,303.97	175,303.97	248,000.00	71%
4060-4503-0000 Floodways (Granite Creek)	-		35,382.94	35,382.94	-	
4012-4500-0000 R2R 24-25 - Resealing work in First street 22/23 survey/design & construction	27,374.00	10,332.92	21,041.57	31,374.49	60,332.92	52%
4012-4501-0000 R2R 24-25 - Cleaning Road Grids	8,500.00				8,500.00	0%
4013-4501-0001 Cap Imp - Etheridge River - Remove vegetation			44,864.65	44,864.65	50,000.00	90%
4020-4500-0000 LRCI Phase 2 - Sealed Services - Forsayth - Einasleigh Rd Reseal ch.16.48 km to 26 km	286,549.00	437,049.58	249,945.00	686,994.58	437,049.58	157%
4020-4560-0000 R2R - Eins-For Rd Ch 32.57-33.27		7,890.61		7,890.61	7,890.61	100%
4020-4570-0000 R2R 23-24 - Big Joe Bridge Einasleigh R2R - Asphalt work	150,000.00	3,457.78	433.18	3,890.96	3,890.96	100%

WIP - May 2025

	External Funding Amount	PREVIOUS YEARS (Opening balance)	YEAR TO DATE (ACTUALS)	TOTAL EXPENDITURE (ACTUALS)	PROJECT LIFE BUDGET	%
4020-4535-0000						
4020-4530-0000	1,891,464.32	3,167,100.37	2,625,523.95	5,792,624.32	5,302,027.42	109%
4020-4565-0000						
TIDS + QRA - Forsayth Einasleigh 24-25 - 27.767 KM - 32.267 KM Survey & design - 32.267 k - 37.10 km						
4020-4540-0000						
Forsayth-Eins cap works - sign replacement		170,643.58		170,643.58	170,643.58	100%
4060-4500-0001						
R2R - Kidston Road R2R		106,373.80	19,164.08	125,537.88	106,373.80	118%
4060-4500-0002						
R2R - Agate Creek Road R2R		191,784.35	12,550.00	204,334.35	191,784.35	107%
4060-4500-0003						
R2R - Oakleigh Station Road R2R		3,012.00		3,012.00	3,012.00	100%
4060-4500-0010						
Replacement of 4 nos - 375 mm diameter Pipe culvert in Dulthara road at chainage 38.152 km	-	4,572.17		4,572.17	4,572.17	100%
4060-4500-0011						
Replacement of 4 nos - 375 mm diameter Pipe culvert in Dulthara road at chainage 45.1 km	-	4,512.07		4,512.07	4,512.07	100%
4060-4500-0014						
Replacement of 4 nos - 450 mm diameter Pipe culvert in North head road at chainage 21.10 km	-	2,587.32		2,587.32	2,587.32	100%
4060-4500-0015						
Replacement of 4 nos - 450 mm diameter Pipe culvert in Vanlee road at chainage 9.46 km	-	1,260.60		1,260.60	1,260.60	100%
4060-4500-0016						
R2R - Carpentaria Downs Station Rd		14,890.58		14,890.58	14,890.58	100%
4060-4500-0017						
R2R - Coniuboy Road		17,255.25		17,255.25	17,255.25	100%
4060-4500-0019						
R2R 24-25 - Pipe Replace Lake Carlo	28,900.00		23,360.17	23,360.17	28,900.00	81%
4060-4501-0000						
Floodways		161,298.14		161,298.14	161,298.14	100%
4061-4504-0008						
R2R 24-25 - Re sealing work in Hayman Street	6,424.00	6,449.60		6,449.60	6,424.00	100%
4061-4504-0009						
R2R 24-25 - Re sealing work in Colin Street	8,887.00	8,921.03		8,921.03	10,000.00	89%
4061-4504-0010						
R2R 24-25 - Re sealing work in Cumberland Street	19,261.00	19,337.94		19,337.94	19,337.94	100%
4061-4504-0011						
R2R 24-25 - Re sealing work in Crampton Road	38,377.00	45,056.02		45,056.02	38,377.00	117%
4063-4500-0001						
Reseals - Mt Surprise - Cox Lane		12,802.19		12,802.19	12,802.19	100%
4063-4500-0002						
Reseals - Mt Surprise - Garnet Street						
4063-4500-0003						
R2R 24-25 - Reseals - Mt Surprise - Undara Road	8,063.00	8,063.00		8,063.00	8,063.00	100%
4065-4500-0000						
Reseals - Oak Park		27,184.96		27,184.96	27,184.96	100%
		4,587,146.15	5,451,687.60	10,038,833.75	11,284,355.75	89%
0400-4750-0000						
Water Infrastructure						
4320-4500-0002						
Georgetown Water - Replacement of Meters		6,769.74	1,294.21	8,063.95	6,769.74	119%
4320-4500-0004						
Georgetown Water - New Water Connections		7,996.66	1,195.77	9,192.43	7,996.66	115%
4340-4500-0002						
Forsayth Water - Replacement of meters		1,621.28	1,790.17	3,411.45	1,621.28	210%
4340-4500-0004						
Forsayth Water - New Water Connection		2,311.05	1,391.04	3,702.09	2,311.05	160%
Carried forward projects 25-26						
4500-4506-0001						
Charleston Dam Rec Area - Survey Design Playground/ Amenities Fencing		85,373.05	4,286.98	2,000.00	363,000.00	1%
Completed projects						
4500-4506-0002						
Charleston Dam Rec Area - Fencing (perimeter)		150,357.45	3,012.00	153,369.45	150,357.45	102%
4320-4501-0008						
Georgetown Water - Landfill Standpipe		15,631.88		15,631.88	15,631.88	100%
4500-4508-0000						
Charleston Dam - Water supply pipelines		13,056.61		13,056.61	13,056.61	100%
		283,117.72	12,970.17	208,427.86	560,744.67	37%
		9,157,651.55	12,970,171.87	21,927,414.19	41,870,770.29	52%

(Accounts: 0300-0001-0000 to 5014-2400-0000. All report groups. 92% of year elapsed. To Level 4. Excludes committed costs)
 Etheridge Shire Council (Budget for full year) Financial Year Ending 2025 Printed(MEGAN) : 02-06-2025 1:53:15 PM

----- REVENUE -----									
	30 Jun 2025	Budget	30 Jun 2025	EXPENDITURE	Budget	30 Jun 2025	Budget	30 Jun 2025	Budget
1000-0001 Governance									
1000-0002 Elected Members									
1010-0002 Governance	0.00	0	483,871.16	96%	503,000	(483,871.16)	96%	(503,000)	
1020-0002 Economic Development	0.00	0	849,820.76	105%	810,000	(849,820.76)	105%	(810,000)	
	3,220,142.00	3,440,000	121,862.76	49%	250,000	3,098,279.24	97%	3,190,000	
1040-0002 Regulatory Services									
1040-0003 Town Planning	3,180.00	10,000	74,167.08	124%	60,000	(70,987.08)	142%	(50,000)	
1041-0003 Building Control	1,178.70	2,000	0.00	0%	200	1,178.70	65%	1,800	
1042-0003 Environmental Health	3,269.00	9,000	34,586.25	115%	30,000	(31,317.25)	149%	(21,000)	
1043-0003 Local Laws	0.00	0	0.00	0%	5,000	0.00	0%	(5,000)	
1040-0002 Regulatory Services	7,627.70	21,000	108,753.33	114%	95,200	(101,125.63)	136%	(74,200)	
1050-0002 Disaster Management	2,700,072.52	2,724,349	153,962.41	100%	153,500	2,546,110.11	99%	2,570,849	
1060-0002 WH&S	0.00	0	261,127.42	86%	305,000	(261,127.42)	86%	(305,000)	
1000-0001 Governance	5,927,842.22	6,185,349	1,979,397.84	94%	2,116,700	3,948,444.38	97%	4,068,649	
2000-0001 Corporate									
2000-0002 General Rates	2,456,267.90	2,705,000	392,848.21	91%	430,000	2,063,419.69	91%	2,275,000	
2010-0002 General Administration	6,747,914.18	6,805,192	2,449,492.78	89%	2,744,000	4,298,421.40	106%	4,061,192	
2020-0002 Employee Services	2,481,262.92	2,200,000	2,084,965.84	97%	2,155,000	396,297.08	881%	45,000	
2030-0002 ICT	0.00	0	382,730.85	105%	365,000	(382,730.85)	105%	(365,000)	
2040-0002 Broadcasting Services	0.00	0	6,995.28	106%	6,600	(6,995.28)	106%	(6,600)	
2000-0001 Corporate	11,685,445.00	11,710,192	5,317,032.96	93%	5,700,600	6,368,412.04	106%	6,009,592	
3000-0001 Community									
3000-0002 Commercial Rental Properties									
3000-0003 Staff housing	126,096.00	140,000	273,240.32	74%	367,000	(147,144.32)	65%	(227,000)	
3002-0003 Savannah House	3,575.00	4,000	25,502.18	88%	29,000	(21,927.18)	88%	(25,000)	
3003-0003 Demountable Office (Mary St)	46,000.00	48,000	1,289.09	21%	6,000	44,710.91	106%	42,000	
3004-0003 Independent Living	0.00	1,200,000	157,489.51	105%	150,000	(157,489.51)	-15%	1,050,000	
3000-0002 Commercial Rental Properties	175,671.00	1,392,000	457,521.10	83%	552,000	(281,850.10)	-34%	840,000	
3010-0002 Libraries	2,460.00	6,000	42,146.43	140%	30,000	(39,686.43)	165%	(24,000)	
3020-0002 Community Development	26,250.00	26,250	160,952.40	49%	330,000	(134,702.40)	44%	(303,750)	
3030-0002 Sport & Recreation	50.00	1,000	407,651.11	8%	494,000	(407,601.11)	83%	(493,000)	
3040-0002 Halls	2,017.25	5,000	299,406.00	87%	343,000	(297,388.75)	88%	(338,000)	
3050-0002 Medical Centres	0.00	0	27,939.66	57%	49,200	(27,939.66)	57%	(49,200)	
3060-0002 Aerodromes	135,000.00	450,000	277,157.15	9%	300,500	(142,157.15)	-95%	149,500	

(Accounts: 0300-0001-0000 to 5014-2400-0000. All report groups. 92% of year elapsed. To Level 4. Excludes committed costs)
 Etheridge Shire Council (Budget for full year) Financial Year Ending 2025 Printed (MEGAN) : 02-06-2025 1:53:15 PM

	REVENUE			EXPENDITURE			SURPLUS/(DEFICIENCY)		
	30 Jun 2025	Budget		30 Jun 2025	Budget		30 Jun 2025	Budget	
3070-0002 Terrestrial Centre	122,986.02	77%		464,094.12	72%		(341,108.10)	71%	(481,000)
3080-0002 Little Gems Child Care Centre	105,234.19	76%		485,273.53	96%		(380,039.34)	104%	(366,500)
3090-0002 Georgetown Student Hostel	141,717.04	57%		243,937.73	66%		(102,220.69)	84%	(121,450)
3100-0002 Cemeteries	3,319.62	166%		51,121.77	102%		(47,802.15)	100%	(48,000)
3000-0001 Community	714,705.12	29%	2,431,250	2,917,201.00	80%	3,666,650	(2,202,495.88)	178%	(1,235,400)
4000-0001 Infrastructure Services									
4000-0002 Parks Gardens Reserves and Grounds	2,318.30	58%	4,000	628,763.64	98%	644,000	(626,445.34)	98%	(640,000)
4010-0002 Rural Lands Protection	40,313.66	106%	38,000	331,533.96	76%	435,500	(291,220.30)	73%	(397,500)
4020-0002 Street Lighting	0.00	0%	0	9,125.01	51%	18,000	(9,125.01)	51%	(18,000)
4030-0002 Roads	5,976,866.59	102%	5,879,565	3,130,684.70	77%	4,075,000	2,846,181.89	158%	1,804,565
4030-0003 Shire Roads	22,500.00	11%	198,000	162,078.36	25%	654,542	(139,578.36)	31%	(456,542)
4031-0003 Town Streets	33,529,307.94	99%	33,799,157	28,706,674.12	87%	32,879,049	4,822,633.82	524%	920,108
4032-0003 Flood Damage									
4030-0002 Roads	39,528,674.53	99%	39,876,722	31,999,437.18	85%	37,608,591	7,529,237.35	332%	2,268,131
4040-0002 Depot and Stores	96,261.22	77%	125,000	901,253.28	81%	1,114,000	(804,992.06)	81%	(989,000)
4050-0002 Recoverable Works									
4050-0003 Private Works	117,436.92	53%	220,000	85,805.05	48%	180,000	31,631.87	79%	40,000
4051-0003 DTMR	3,378,312.54	71%	4,753,901	4,121,910.93	170%	2,418,901	(743,598.39)	-32%	2,335,000
4050-0002 Recoverable Works	3,495,749.46	70%	4,973,901	4,207,715.98	162%	2,598,901	(711,966.52)	-30%	2,375,000
4060-0002 Plant Operations	5,744,744.46	81%	7,120,000	2,996,425.97	83%	3,596,000	2,748,318.49	78%	3,524,000
4000-0001 Infrastructure Services	48,908,061.63	94%	52,137,623	41,074,255.02	89%	46,014,992	7,833,806.61	128%	6,122,631
5000-0001 Utilities									
5000-0002 Water Supply	424,001.35	101%	420,100	743,105.67	86%	860,300	(319,104.32)	72%	(440,200)
5001-0003 Georgetown WTP & Reticulation	117,912.67	101%	117,200	329,365.39	121%	272,000	(211,452.72)	137%	(154,800)
5002-0003 Forsayth WTP & Reticulation	0.00	0%	0	18,648.16	16%	120,000	(18,648.16)	16%	(120,000)
5000-0002 Water Supply	541,914.02	101%	537,300	1,091,119.22	87%	1,252,300	(549,205.20)	77%	(715,000)
5010-0002 Waste Management									
5010-0003 Georgetown	154,145.77	102%	150,400	215,257.99	77%	281,300	(61,112.22)	47%	(130,900)
5011-0003 Forsayth	15,566.95	104%	14,950	18,953.92	25%	76,000	(3,386.97)	6%	(61,050)
5012-0003 Einasleigh	11,428.83	109%	10,500	14,344.87	76%	18,885	(2,916.04)	35%	(8,385)
5013-0003 Mt Surprise	12,202.04	102%	12,000	7,802.87	90%	8,711	4,399.17	134%	3,289

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	REVENUE		EXPENDITURE		SURPLUS/(DEFICIENCY)	
	30 Jun 2025	Budget	30 Jun 2025	Budget	30 Jun 2025	Budget
5010-0002 Waste Management	193,343.59	103%	187,850	67%	(63,016.06)	32% (197,046)
5000-0001 Utilities	735,257.61	101%	725,150	82%	(612,221.26)	67% (912,046)
TOTAL REVENUE AND EXPENDITURE	67,971,311.58	93%	73,189,564	89%	15,335,945.89	109% 14,053,426

(Accounts: 0300-0001-0000 to 5014-2400-0000. All report groups. 92% of year elapsed. To Details. Excludes committed costs)
 Etheridge Shire Council (Budget for full year) Financial Year Ending 2025 Printed(MEGAN): 02-06-2025 1:58:37 PM

		----- YEAR TO DATE -----		----- CURRENT BALANCE -----	
		30 Jun 2025	BUDGET	30 Jun 2025	BUDGET
OPENING BALANCE					
=====					
0300-0001	ASSETS LIABILITIES & EQUITY				
=====					
CURRENT ASSETS					
=====					
0300-0001	ASSETS LIABILITIES & EQUITY				
=====					
0300-0002	CASH AND RECEIVABLES				
0300-3000	Bendigo Cash at Bank	404,731.88	329,843	508,477.67	200,000
0300-3005	Investments	4,926,978.73	(7,970,363)	12,466,404.83	10,081,485
0300-3006	22108 Ether Reserve CF	276,656.08	270,000	288,100.07	270,000
0300-3007	22821-2024 ILP and Staff Housing	5,008,847.75	0	4,137,193.95	0
0300-3008	NQRP North Qld Resilience Project	0.00	0	0.00	0
0300-3020	Cash on Hand	1,500.00	0	1,500.00	1,500
0300-3030	General Fund Bank Error Adjustment	0.00	0	0.00	0
0300-3100	Receivables - Rates	170,021.19	81,824	(673.02)	170,540
0300-3110	Rates Receivable Adjustment	53,229.56	0	0.00	0
0300-3120	EOY Receipts-Rates	0.00	0	0.00	0
0300-3130	Allowance for Impairment - Rates	0.00	0	0.00	0
0300-3150	Receivables - Govt Subsidy	188.02	0	0.00	0
0300-3200	Receivables - Debtors	1,199,067.33	667,543	(210.41)	870
0300-3210	Grants Receivable - Roads	0.00	0	128,812.81	700,000
0300-3230	Receivables - Animals	0.00	0	0.00	0
0300-3240	Bond Receivable	0.00	0	0.00	0
0300-3250	Debtors Receivable Adjustment	547,667.00	0	0.00	0
0300-3260	EOY Receipts-Debtors	(41,643.60)	0	0.00	0
0300-3270	Prepaid Expenses	119,508.68	0	0.00	0
0300-3280	Allowance for Impairment - Debtors	(114,875.98)	0	0.00	70,206
0300-3290	Debtors Accrual	2,332,503.35	(1,573,325)	0.00	954,918
0300-3300	Stores Inventories	475,095.41	87,863	493,138.40	550,000
0300-3310	House & Land - Held for Resale GST	0.00	(53,093)	0.00	0
0300-3320	House & Land -Held for Resale Input	0.00	0	0.00	0
0300-3330	Store Inventory Accruals	0.00	0	0.00	0
0300-3335	Accrued Plant	0.00	0	102.70	(619)
0300-3340	Store Inventory Impairment Provision	0.00	0	0.00	(108,423)
0300-3400	Contract Receivable	3,520,330.92	(4,251,181)	0.00	0
0390-3000	Heritage Mineral Collection	0.00	0	3,520,330.92	20,116
CASH AND RECEIVABLES TOTAL		18,879,806.32	(12,410,889)	21,543,177.92	12,910,593
0300-0002					
=====					
0300-0001	ASSETS LIABILITIES & EQUITY TOTAL	18,879,806.32	(12,410,889)	21,543,177.92	12,910,593
=====					

	OPENING BALANCE	30 Jun 2025	YEAR TO DATE 30 Jun 2025	TO DATE 30 Jun 2025	BUDGET 30 Jun 2025	CURRENT BALANCE 30 Jun 2025	BUDGET
TOTAL CURRENT ASSETS	18,879,806.32	2,663,371.60	-21%	(12,410,889)	21,543,177.92	167%	12,910,593
NON-CURRENT ASSETS							
=====							
ASSETS LIABILITIES & EQUITY							
0300-0001							
NON-CURRENT ASSETS							
Land & Buildings - Held for Resale	0.00	0.00	0%	0	0	0%	0
WIP - Land & Bldgs - Held for Resale	0.00	0.00	0%	0	0	0%	0
Land & Land Improvements	2,104,888.62	0.00	0%	334,000	2,104,888.62	100%	2,104,875
Buildings	16,034.42	9,059.12	0%	(2,370,575)	25,093.54	85%	29,606
Accum. Dep. - Buildings	34,155,541.64	0.00	0%	8,294,295	34,155,541.64	87%	39,142,000
WIP - Buildings	(12,277,332.23)	(919,517.73)	99%	(928,219)	(13,196,849.96)	107%	(12,277,000)
Growing Regions Project - Tourism SW	3,460,816.77	5,256,242.82	<99%	(308,540)	8,717,059.59	124%	7,041,997
Other Structures	0.00	211,297.33	---	0	211,297.33	---	0
Accum. Dep. - Other Structures	18,131,875.21	0.00	0%	815,167	18,131,875.21	100%	18,131,875
WIP - Other Structures	(5,726,207.07)	(452,750.90)	-30%	1,529,805	(6,178,957.97)	108%	(5,726,000)
Fleet Plant & Equipment	788,058.94	809,415.15	79%	1,025,248	1,597,474.09	143%	1,113,754
Accum. Dep - Fleet Plant & Equipment	14,033,606.72	0.00	0%	995,237	14,033,606.72	100%	14,033,000
WIP - Fleet Plant & Equipment	(5,435,756.64)	(945,915.89)	-307%	307,969	(6,381,672.53)	117%	(5,435,000)
Furniture & Other Equipment	0.00	1,213,021.43	-40%	(3,015,701)	1,213,021.43	243%	500,000
Accum. Dep - Furniture & Other Equip	2,035,514.29	0.00	0%	24,486	2,035,514.29	100%	2,035,000
WIP - Furniture & Other Equipment	(574,371.21)	(57,417.32)	91%	(63,211)	(631,788.53)	110%	(574,000)
Roads Infrastructure	22,477.55	7,228.80	---	0	29,706.35	66%	44,951
Roads Manual adj	239,453,196.57	0.00	0%	(9,921,662)	239,453,196.57	100%	239,347,000
Accum. Dep. - Roads Infrastructure	0.00	0.00	0%	0	0.00	0%	0
WIP - Roads Infrastructure	(40,830,044.76)	(2,611,097.91)	---	0	(43,441,142.67)	103%	(42,083,023)
Water Infrastructure	4,587,146.14	5,451,687.60	103%	5,305,219	10,038,833.74	119%	8,413,716
Accum. Dep. - Water Infrastructure	36,518,261.45	0.00	0%	2,812,914	36,518,261.45	103%	35,559,000
WIP - Water Infrastructure	(5,694,874.02)	(395,778.42)	141%	(280,243)	(6,090,652.44)	107%	(5,694,000)
Heritage Mineral Collection	283,117.72	12,970.17	-58%	(22,397)	296,087.89	99%	300,000
Land Improvements	0.00	0.00	0%	0	0.00	0%	0
Land improvements - Accum Depn	0.00	0.00	0%	0	0.00	0%	0
NON-CURRENT ASSETS TOTAL	285,051,950.11	7,588,444.25	167%	4,533,791	292,640,394.36	99%	296,007,750
ASSETS LIABILITIES & EQUITY TOTAL	285,051,950.11	7,588,444.25	167%	4,533,791	292,640,394.36	99%	296,007,750

	OPENING BALANCE	30 Jun 2025	YEAR TO DATE	BUDGET	30 Jun 2025	CURRENT BALANCE
	285,051,950.11	7,588,444.25	167%	4,533,791	292,640,394.36	99% 296,007,750
TOTAL NON-CURRENT ASSETS						
	303,931,756.43	10,251,815.85	-130%	(7,877,098)	314,183,572.28	102% 308,918,343
TOTAL ASSETS						
CURRENT LIABILITIES						
=====						
ASSETS LIABILITIES & EQUITY						
0300-0001						
CURRENT PAYABLES AND LIABILITIES						
0500-0002	1,139,682.72	0.00	0%	(7,313,079)	1,139,682.72	-229% (497,565)
0500-5000	0.00	0.00	0%	0	0.00	0% (8)
0500-5100	53,229.56	(53,229.56)	---	0	0.00	0%
0500-5101	0.00	0.00	0%	0	0.00	0%
0500-5110	0.00	117.41	---	0	117.41	---
0500-5120	0.00	296,671.69	-79%	(373,614)	296,671.69	76% 391,522
0500-5200	0.00	(5,091,933.46)	-382%	1,333,716	0.00	0% 2,476,177
0500-5210	5,091,933.46	37,201.65	137%	27,195	69,059.64	111% 62,000
0500-5220	31,857.99	3,519.59	13%	27,033	67,350.27	198% 34,000
0500-5230	63,830.68	0.00	0%	0	0.00	0% 89,124
0500-5235	0.00	(13,837.36)	-481%	2,878	2,213.74	74% 3,000
0500-5240	16,051.10	0.00	0%	0	0.00	0%
0500-5250	0.00	0.00	0%	0	0.00	0%
0500-5260	0.00	0.00	0%	0	0.00	0%
0500-5270	0.00	0.00	0%	0	0.00	0%
0500-5280	0.00	821.36	-26%	(3,100)	821.36	---
0500-5290	0.00	(117,336.31)	---	0	(117,336.31)	---
0500-5295	0.00	0.00	0%	0	0.00	0%
0500-5299	0.00	24,900.03	---	0	24,900.03	---
0500-5300	504,405.27	(3,666.07)	1%	(530,045)	500,739.20	---
0500-5310	294,856.73	(116,323.47)	-169%	69,018	178,533.26	51% 347,000
0500-5400	0.00	0.00	0%	0	0.00	0%
0500-5410	13,560.90	(10,049.14)	102%	(9,810)	3,511.76	95% 3,700
0500-5411	189,589.20	(189,589.20)	---	0	0.00	0%
0500-5420	0.00	0.00	0%	0	0.00	0%
CURRENT PAYABLES AND LIABILITIES TOTAL	7,398,997.61	(5,232,732.84)	77%	(6,769,808)	2,166,264.77	74% 2,908,950
0300-0001						
ASSETS LIABILITIES & EQUITY TOTAL	7,398,997.61	(5,232,732.84)	77%	(6,769,808)	2,166,264.77	74% 2,908,950

(Accounts: 0300-0001-0000 to 5014-2400-0000. All report groups. 92% of year elapsed. To Details. Excludes committed costs)
 Etheridge Shire Council (Budget for full year) Financial Year Ending 2025 Printed(MEGAN): 02-06-2025 1:58:37 PM

	OPENING BALANCE	YEAR TO DATE 30 Jun 2025	TO DATE BUDGET	CURRENT BALANCE 30 Jun 2025	BUDGET
TOTAL CURRENT LIABILITIES	7,398,997.61	(5,232,732.84)	77% (6,769,808)	2,166,264.77	74% 2,908,950
NON-CURRENT LIABILITIES					
=====					
ASSETS LIABILITIES & EQUITY					
0300-0001					
0600-0002					
0600-6300	137,347.65	65,168.65	109%	202,516.30	116% 174,000
0600-6310	0.00	0.00	0%	0.00	0%
0600-6401	5,780,427.90	83,434.15	---	5,863,862.05	---
0600-6410	3,572.88	0.00	0%	3,572.88	0%
0600-6500	1,278,101.64	0.00	0%	1,278,101.64	73% 1,747,000
0600-6505	73,522.00	0.00	0%	73,522.00	---
0600-6506	63,665.00	0.00	0%	63,665.00	---
0600-6510	232,082.72	0.00	0%	232,082.72	---
0600-6520	179,580.99	0.00	0%	179,580.99	138% 130,315
0600-6530	238,675.64	0.00	0%	238,675.64	79% 300,458
0600-0002	7,986,976.42	148,602.80	60%	8,135,579.22	98% 8,333,524
0300-0001					
0600-0001	7,986,976.42	148,602.80	60%	8,135,579.22	98% 8,333,524
TOTAL NON-CURRENT LIABILITIES	7,986,976.42	148,602.80	60%	8,135,579.22	98% 8,333,524
TOTAL LIABILITIES	15,385,974.03	(5,084,130.04)	78%	10,301,843.99	92% 11,242,474
NETT ASSETS/ (LIABILITIES)	288,545,782.40	15,335,945.89	<999%	303,881,728.29	102% 297,675,869

(Accounts: 0300-0001-0000 to 5014-2400-0000. All report groups. 92% of year elapsed. To Details. Excludes committed costs)

Etheridge Shire Council (Budget for full year)

Financial Year Ending 2025

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		OPENING BALANCE	YEAR TO DATE		BUDGET		CURRENT BALANCE		BUDGET	
			30 Jun 2025				30 Jun 2025			
COMMUNITY EQUITY										
=====										
0300-0001		ASSETS LIABILITIES & EQUITY								
0700-0002		SHIRE CAPITAL & RESERVES								
0700-7000	Shire Capital Account	39,500,666.35	0.00	0%	(666)		39,500,666.35	100%		39,500,000
0700-7100	Current Surplus	0.00	15,335,945.89	109%	14,053,426		15,335,945.89	109%		14,053,426
0700-7200	Accumulated Surplus	42,874,488.91	(0.00)	0%	2,811,596		42,874,488.91	84%		50,969,805
0700-7300	Asset Reval Reserve - Roads	158,907,707.47	0.00	0%	(8,654,133)		158,907,707.47	100%		158,473,431
0700-7310	Asset Reval Reserve - Land	2,113,661.06	0.00	0%	852,060		2,113,661.06	100%		2,113,000
0700-7320	Asset Reval Reserve - Buildings	17,460,264.12	0.00	0%	3,444,625		17,460,264.12	90%		19,460,000
0700-7330	Asset Reval Reserve - Water	7,420,590.68	0.00	0%	2,794,465		7,420,590.68	100%		7,420,000
0700-7340	Asset Reval Reserve -Other Structure	10,318,749.35	0.00	0%	2,587,030		10,318,749.35	100%		10,318,000
0700-7350	Asset Reval Reserve-Plant	0.00	0.00	0%	0		0	0%		0
0700-7360	Asset Reval Reserve-TERMINERAL	488,854.46	0.00	0%	(854)		488,854.46	100%		488,000
0700-7400	Reserve Recurrent Expenditure Grants	53,502.00	0.00	0%	(53,502)		53,502.00	---		0
0700-7410	Capital Grants Reserve	0.00	0.00	0%	0		0.00	0%		0
0700-7420	Plant Replacement Reserve	872,351.00	0.00	0%	(872,351)		872,351.00	---		0
0700-7430	Future Capital Works Reserve	7,448,875.00	0.00	0%	(7,448,875)		7,448,875.00	---		0
0700-7440	Capital Works Reserves	1,086,072.00	0.00	0%	(1,086,072)		1,086,072.00	---		0
0700-7500	Appn: General Revenue for Capital	0.00	0.00	0%	0		0.00	0%		0
0700-7510	Appn: Profit/Loss on Sale NC Assets	0.00	0.00	0%	0		0.00	0%		0
0700-7520	Appn: Profit/Loss on Land Sales	0.00	0.00	0%	0		0.00	0%		0
0700-7530	Appn: Unfunded Depreciation	0.00	0.00	0%	0		0.00	0%		0
0700-7540	Appn: Constrained Works Reserve	0.00	0.00	0%	0		0.00	0%		0
0700-7550	Appn: Reserve held Future Recur Exp	0.00	0.00	0%	0		0.00	0%		0
0700-7560	Appn: Capital Grants	0.00	0.00	0%	0		0.00	0%		0
0700-7570	Appn: Plant Replacement Reserve	0.00	0.00	0%	0		0.00	0%		0
0700-7580	Appn: Future Capital Works Reserve	0.00	0.00	0%	0		0.00	0%		0
0700-7590	Appn: Capital Works Reserves	0.00	0.00	0%	0		0.00	0%		0
0700-0002		SHIRE CAPITAL & RESERVES TOTAL	15,335,945.89	182%	8,426,748		303,881,728.29	100%		302,795,661
0300-0001		ASSETS LIABILITIES & EQUITY TOTAL	15,335,945.89	182%	8,426,748		303,881,728.29	100%		302,795,661
		TOTAL COMMUNITY EQUITY	15,335,945.89	182%	8,426,748		303,881,728.29	100%		302,795,661

Etheridge Shire Council

Statement of Comprehensive Income

For the Year Ended Jun 30 2025

	<u>Notes</u>	<u>2025 Actual</u>	<u>Amend. 24/25</u>
Income			
Revenue			
Recurrent revenue			
Rates, levies and charges	3	2,776,996	2,892,325
Fees and charges	3	246,841	316,600
Interest Income	3 7	620,113	668,100
Other income	3	76,099	84,150
Rental Income	3 8	175,671	192,000
Sales revenue	3	3,554,278	5,053,901
Grants, subsidies, contributions and donations	3 4	42,122,960	42,621,085
Total recurrent revenue		49,572,958	51,828,161
Capital revenue			
Grants, subsidies, contributions and donations	4	9,785,593	11,522,278
Total capital revenue		9,785,593	11,522,278
Expenses			
Recurrent expenses			
Employee benefits		(6,744,826)	(6,336,250)
Materials and services		(31,662,949)	(35,285,463)
Finance Interest Costs		(232,352)	(240,000)
Depreciation and amortisation: PP&E	9	(5,382,478)	(5,801,300)
Total recurrent expenses	6 7	(44,022,606)	(47,663,013)
Net Operating Result		15,335,946	15,687,426
Other Expenses			
Total other expenses		0	0
Net Capital result		15,335,946	15,687,426
Other comprehensive income			
Increase / (decrease) in asset revaluation surplus		0	(8,437,607)
Total other comprehensive income for the year		0	(8,437,607)
WIP Cap Exp			
Total WIP (Tsf to Fin Postn)		0	0
Total comprehensive income for the year		15,335,946	7,249,819

The above Statement should be read in conjunction with the accompanying notes and the Summary of Significant Accounting Policies.

Etheridge Shire Council

Statement of Financial Position

For the Year Ended Jun 30 2025

	<u>Notes</u>	<u>2025 Actual</u>	<u>Amend. 24/25</u>
Current Assets			
Cash and cash equivalents	3	17,401,677	10,552,985
Receivables	12	127,929	1,826,328
Contract Assets		3,520,331	20,116
Other Current Assets		0	70,206
Inventories	13	493,241	440,958
		21,543,178	12,910,593
Total current assets	2	21,543,178	12,910,593
Non-current Assets			
Property, plant and equipment	4 7	292,640,394	296,007,750
Total non-current assets	2	292,640,394	296,007,750
TOTAL ASSETS		314,183,572	308,918,343
Current Liabilities			
Payables	17	343,798	3,055,815
Contract Liabilities		1,139,683	(497,565)
Borrowings	21	3,512	3,700
Provisions	18	679,272	347,000
Total current liabilities		2,166,265	2,908,950
Non-current Liabilities			
Borrowings	21	5,867,435	5,981,751
Provisions	18	2,268,144	2,351,773
Total non-current liabilities		8,135,579	8,333,524
TOTAL LIABILITIES		10,301,844	11,242,474
NET COMMUNITY ASSETS		303,881,728	297,675,869
Community Equity			
Asset revaluation reserve	25	196,709,827	198,272,431
Shire Capital		39,500,666	39,500,000
Retained surplus/(deficiency)		58,210,435	65,023,230
Reserves		9,460,800	0
TOTAL COMMUNITY EQUITY		303,881,728	302,795,661

The above Statement should be read in conjunction with the accompanying notes and the Summary of Significant Accounting Policies.

Etheridge Shire Council

Statement of Cash Flows

For the Year Ended Jun 30 2025

	<u>Notes</u>	<u>2025 Actual</u>	<u>Amend. 24/25</u>
Cash flows from operating activities:			
Receipts from customers		18,971,403	22,881,345
Payments to suppliers and employees		(51,373,489)	(59,011,461)
Interest received		622,045	669,100
Rental income		175,671	192,000
Non-capital grants and contributions		41,968,436	42,423,835
Borrowing costs		(232,352)	(240,000)
Net cash - operating activities	23	10,131,714	6,914,819
Cash flows from investing activities:			
Grants, subsidies, contributions and donations		9,738,374	11,469,528
Payments for property, plant and equipment		(12,970,922)	(10,335,091)
Net cash - from investing activities		(3,232,548)	1,134,437
Cash flows from financing activities			
Repayment of borrowings		(116,204)	(9,810)
Net cash flow - financing activities		(116,204)	(9,810)
Net increase/(decrease) in cash held		6,782,962	8,039,445
Add cash and cash equivalents - beginning of year		10,618,714	17,923,505
Cash and cash equivalents - closing	3	17,401,677	10,552,985

The above Statement should be read in conjunction with the accompanying notes and the Summary of Significant Accounting Policies.



DIRECTOR OF ENGINEERING SERVICES – BRIEFING REPORT

GENERAL MEETING: June 2025

Mayor and Councillors
Etheridge Shire Council
PO Box 12
Georgetown, QLD 4871

Councillors,

I present my report for the period of: May 2025

1. TRANSPORT MAIN ROADS

- A permanent electronic road closure sign for Lynd Roadhouse - TMR is petitioning for funding and will be updated within the next 6 to 8 weeks.
- Log Creek and Somerset Creek - Electronic warning signs – TMR is petitioning for funding and will be updated within next 6 to 8 weeks.

2. HEAVY VEHICLE SAFETY PRODUCTIVITY PROGRAM (HVSP)

Electrical works and Avdata system for automatic payment system

- Power connection application has been submitted.
- Avdata system is in progress
- Water tank and pump have been ordered

3. DRINKING WATER FACILITY FOR PUBLIC IN GEORGETOWN

- Still waiting for formal quotation from Dispenser supplier and will be discussed in Community Connect workshop in near future.

4. DRAINAGE WORKS IN MOUNT SURPRISE (ESC FUNDING)

- Work is in progress and will be completed in June 2025.

5. INDEPENDENT LIVING FACILITY & STAFF HOUSING

The Work Progress of the ILH (Independent Living Houses) Project- completed:

The Work Progress of the SHP (Staff Housing Precinct) Project is as follows:

Remaining works

- Electrical works from Main network to houses - work in progress
- Fencing – waiting for quotations

6. NWQROC - North Queensland Resilience Program

ESC.0052 – Upgrade Water Assets (Safety Valves Forsayth)

- Work in progress

ESC.0053 – Provide back-up power to critical water infrastructure

- Work in progress

ESC.0054 – Replace fence & fence gates (Mt Surprise & Einasleigh airstrips)

- Contract has been awarded

7. CHARLESTON DAM

- Weekly inspection on going
- Annual Emergency Action Plan (EAP) has been submitted before the due dates

8. REGIONAL ECONOMIC FUTURES FUND (REFF) – NORTHWEST QUEENSLAND MINERALS PROVINCE (NWMP) TOURISM INFRASTRUCTURE PROGRAM

- The site has been inspected by the Ewamian People Aboriginal Corporation
- Georgetown River Walk (NWMP-0005) – Contract has been awarded to construct a gravel river walk starts from water tank towards west (L = 800 m x 2.4 m)

9. NORTHWEST QUEENSLAND ECONOMIC DIVERSIFICATION STRATEGY (NWQEDS10)

Upgrade Casey's Rest Lookout

- Received TMR's approval
- Waiting for quotations

10. FORSAYTH TRANSFER STATION

- 4 bins transferred on 2/6/2025 (First time)
- Installed one recycling bag
- Cardboard bin has been converted to General waste

11. DRFA WORKS– ZONE 5

- Screening of gravel in Oak Park 7 and Rosella Pit 2, Rosella Pit 3 completed
- Gravels are sandy gravel (fine to medium grained gravel)
- Waiting for geotechnical report

12. GEORGETOWN LAND FILL

- The frequencies to pick and push up the rubbish within the land fill area has been increased from 2 to 3 times a week effective from 4th June 2025

13. GEORGETOWN FORSAYTH ROAD

\$608,255.00 has been allocated under TIDS 2027/2028 program for reconstruction and sealing of Forsayth Road (Ch. 23.425 to 25.26 KM). The total estimated project cost is \$3.3 Million. Waiting results from Country Roads Connect (CRC) Program (Ref. attachment 1)

14. Calendar of Event

Date	Event	Location
1.7.2025	Budget workshop	Council board room
7.7.2025	Managers' meeting	Depot
8.7.2025	Budget workshop	Council board room
15.7.2025	Special Budget meeting	Forsayth
16.7.2025	General Meeting	Georgetown
21.7.2025	Manager's meeting	Georgetown
22.7.2025	Staff meeting	Council board room
24.7.2025	FNQ RQMP meeting	MS Team
25.7.2025	FNQ RRTG TC meeting	MS Team

Regards

Raju Ranjit
Director of Engineering Services

Attachment

1. RRTG TC meeting minutes

FNQ RRTG Technical Committee

Minutes

Meeting Name	FNQ RRTG Technical Committee – Program Workshop
Date	30 May 2025
Time	9:30am
Venue	McKenzie Room, Level 2, Cairns Regional Council, Spence Street, Cairns

Representatives

Name	Organisation
Rafi Hasan (Proxy)	Cairns Regional Council
Luke McAvoy	Cassowary Coast Regional Council
Paul O'Connor (Proxy) <i>via teleconference</i>	Cook Shire Council
George Coxhead <i>via teleconference</i>	Croydon Shire Council
Kiani Berzinski	Douglas Shire Council
Raju Ranjit <i>via teleconference</i>	Etheridge Shire Council
David Fletcher	Tablelands Regional Council
Amanda Hancock	Technical Coordinator, FNQROC

Observers

Name	Organisation
Chris Accatino <i>via teleconference</i>	Cassowary Coast Regional Council

Apologies

Name	Organisation
Travis Mitchell	Cairns Regional Council
Khubaib Khan (Chair)	Cook Shire Council
Andrew Foster	Mareeba Shire Council
Kiley Hanslow	Wujal Wujal Aboriginal Shire Council
Michael Geoghegan	Yarrabah Aboriginal Shire Council
Sam Bann	Yarrabah Aboriginal Shire Council

1. Welcome and introduction.

2. Apologies

Apologies noted.

3. Program

- Amanda advised that the workshop had been arranged to focus on the final works program of the year and to seek endorsement from the RRTG at the meeting on 5 June 2025.
- Matters to be discussed and agreed were as follows:
 - New Projects – Review of remaining new projects awaiting admission into the program.
 - Changes to existing project costs
 - 24/25 – Allocation of remaining funds currently available
 - 25/26 & 26/27 – Proposed changes notified, and reallocations required as a result.
 - 27/28 – Allocation of remaining funds currently available
 - Non-LRRS – Review and reallocation of funds where the maximum 20% allocation of annual funding is currently exceeded.
 - Review of proposed banked projects for 24/25 in the event of any identified underspend.

3.1. New Projects

Six projects were reviewed and admitted into the program to await funding to become available. These projects were as follows:

Cassowary Coast Regional Council

ID556 – Butler Street – Design and construction of intersection upgrade and asphalt overlay at the intersection of Butler Street and Still Street.

ID558 – Mourilyan Road – Pavement rehabilitation design and construction on Mourilyan Road from Jubilee Bridge roundabout to Heavy Street. (Funding later allocated to this project – see Item 3.6 and 3.7)

Cook Shire Council

ID473 – Power Street – Non LRRS - Upgrade to seal the section of Power Street between Boundary Street and Howard Street, including major culvert crossing, footpath street lighting, kerb, and channel.

ID474 – Schwartz Street – Non LRRS – Upgrade to seal including drainage.

ID471 – Walsh Close – Non LRRS – Reseal the first 150m long section and next 300m to seal including drainage improvements.

ID469 – Wilkinson Street – Non LRRS – Upgrade drainage and seal.

3.2. Changes to existing project costs

Changes to the existing project costs for the following projects were discussed and agreed:

Douglas Shire Council

ID507 – Cape Tribulation Road – New Alignment & ID509 – Cape Tribulation Road – New Alignment. Project combined into new single project ID550 – Cape Tribulation Road and project costs increased from \$5,865,800 to \$13,038.58 including Federal funding of \$6,200,000.

- Kiani advised that combining the projects together will make it much easier to manage claims for this project. The BCA project costs have been updated in the Project Management Tool (PMT) and no change to overall priority ranking as result of the change.

ID501 – Alchera Drive – State Road, Non LRRS – Drainage upgrades (Stage 2 – Connolly Street to Blain Street) – Overall project costs reduced from \$875,000 to \$783,000.

ID502 – Alchera Drive – State Road, Non LRRS – Drainage upgrades (Stage 3 – Blain Street to Maxwell Street) – Overall project costs increased from \$453,250 to \$1,282,000.

ID498 – Alchera Drive – State Road, Non LRRS – Drainage upgrades (Stage 5 – Maxwell Street to Parker's Creek Culvert) – Overall project costs increased from \$400,000 to \$992,000.

- Kiani advised that the design and cost estimates had been reviewed for each of the projects and some significant work items were found to be missing from the original estimates which have now been updated.
- No funding has currently been allocated to any of these projects.

3.3. 24/25 – Allocation of remaining funds

\$118,433 was available for reallocation following changes to the program notified at the Regional Road and Transport Group Technical Committee meeting on 23 May 2025.

Cassowary Coast Regional Council

ID330 – Bryant Street – Replace existing drainage. Project was funded in 26/27 but funding of \$118,433 brought forward as highest-ranking project, project completed and funding available.

3.4. 25/26 – Changes to the program

Funding released.

Funding was released from the following projects:

Cassowary Coast Regional Council

ID297 – Bowen Street – Non LRRS – Widen existing pavement, overlay and two coat seal. Project withdrawn due to significant scope reduction due to cost increases. May reapply for funding at a later date. \$104,139 to be reallocated from 25/26 and \$35,337 to be reallocated in 26/27.

ID306 – Fitzgerald Esplanade – Renewal of pavement and surfacing, stormwater upgrades and renewal of footpaths. Project withdrawn as now comes under adopted Innisfail CBD Masterplan and timeline no longer appropriate. May reapply for funding at a later date. \$870,000 to be reallocated from 25/26.

Tablelands Regional Council

ID407 – Junction Road – Widening and sealing. \$407,500 to be released as project delayed. \$407,500 to be reallocated from 25/26 (Funding later allocated to this project in 27/28 see Item 3.6)

Funding reallocated

Funding was reallocated to the following projects based on program guidelines and priority ranking.

Cassowary Coast Regional Council

ID305 – Mundoo Road – Bamboo Creek Bridge replacement. \$20,000 allocated as project currently underfunded.

ID317 – Flying Fish Point Road – Drainage. \$496 brought forward from 26/27.

Douglas Shire Council

ID550 – Cape Tribulation Road – New Alignment. \$1,311,143 allocated as project currently underfunded.

Tablelands Regional Council

ID408 – Sluice Creek Road – Drainage. \$50,000 allocated as project currently underfunded.

3.5. 26/27 – Changes to program

Funding released.

Funding was released from the following projects:

Cassowary Coast Regional Council

ID296 – McGowan Drive – Non LRRS – Renew kerb and channel, footpath, drainage and new shared path and asphalt surfacing. Project to be completed in 25/26 so \$583,800 released in 26/27.

ID317 – Flying Fish Point Road – Drainage. Project to be completed in 25/26. \$846 released in 26/27.

ID330 – Bryant Street – Replace existing drainage. Project brought forward to 24/25 as project completed and funds available. \$120,000 released in 26/27.

Funding reallocated

Funding was reallocated to the following project based on Program Guidelines and priority ranking:

Cairns Regional Council

ID273 – Lake Street – Lighting upgrade. \$250,000 allocated as project currently underfunded.

ID280 – Hussey Road – Pavement rehabilitation. \$500 allocated as project underfunded.

ID275 – Lake Street – Lighting upgrade. \$125,000 allocated as project currently underfunded.

Douglas Shire Council

ID388 – Alchera Drive – State Road, Non-LRRS – Construct footpath connecting new pedestrian bridge. \$30,000 allocated as project currently underfunded.

Mareeba Shire Council

ID404 – Rankin Street/Walsh Street – Non-LRRS – Intersection works – roundabout upgrade. \$116,194 allocated as project underfunded.

ID266 – Ootann Road – Seal and widen. \$154,017 allocated as project currently unfunded and next highest priority project.

3.6. 27/28 – Changes to program

Available funding was allocated to the following projects:

Cassowary Coast Regional Council

ID351 – Kennedy Creek Road – Drainage. \$300,000 allocated.

ID558 – Mourilyan Road – Pavement rehabilitation and construction. \$346,267 allocated.

Croydon Shire Council

ID269 – Croydon Richmond Road – Upgrade to seal. \$412,500 allocated.

Cook Shire Council

ID457 – Bloomfield Road – Reconstruction of concrete pavement slab. \$600,000 allocated.

Douglas Shire Council

ID550 – Cape Tribulation Road – New Alignment. \$686,844 allocated.

Etheridge Shire Council

ID426 – Forsyth Road – State Road - Upgrade to seal. \$608,255 allocated as funds available and maximum amount of 10% of TIDS annual allocation. No further funds to be allocated.

Tablelands Regional Council

ID482 – Silver Valley Road – Gravel Resheet. \$259,500 allocated.

ID407- Junction Road – Widening and seal of various corners to achieve 7.0 seal width. \$407,500 allocated.

3.7. Non-LRRS Projects – Funding Over Allocation

Funding released

Funding was released from the following projects:

Cook Shire Council

ID178 – Railway Avenue East – Non-LRRS – Upgrade to seal including drainage. \$185,007 removed in 27/28 as overall non-LRRS projects over allocated by this amount in 27/28 and this was the lowest non-LRRS priority project.

Funding reallocated

Funding was reallocated to the following projects based on program guidelines and priority ranking:

Cassowary Coast Regional Council

ID558 – Mourilyan Road – Pavement rehabilitation and construction. \$19,358 allocated.

Douglas Shire Council

ID210 – Cape Tribulation Road – Resurfacing. \$165,649 allocated.

ACTION ITEM 1. Seek endorsement of the updated 24/25 – 27/28 program from the RRTG at their meeting on Thursday 5 June 2025.

3.8. Banked Projects

The following projects were identified as suitable ‘banked projects’ to receive funding in the event of underspend of the current allocation before the end of this financial year:

Cassowary Coast Regional Council

ID322 – De Luca Road – Non-LRRS – Drainage. \$22,500 TIDS required. Priority score 5%. Completed but currently unfunded.

ID336 – East Feluga Road – Non-LRRS – Drainage. \$60,000 TIDS required. Priority score 11%. Completed but currently unfunded.

ID335 – East Feluga Road – Non-LRRS – Drainage. \$50,000 TIDS required. Priority score 6%. Completed but currently unfunded.

Douglas Shire Council

ID546 – Bougainvillea Street – Non-LRRS - Pavement rehabilitation. \$160,000 TIDS required. Priority score 12%. Works underway but currently unfunded.

ACTION ITEM 2. Seek endorsement of the following ‘banked projects’ from the RRTG at their meeting on Thursday 5 June 2025.

ID	Road Name	Description	Priority Score	TIDS
546	Bougainvillea Street	Pavement Rehab	12%	\$160,000
336	East Feluga Road	Drainage	11%	\$60,000
335	East Feluga Road	Drainage	6%	\$50,000
322	De Luca Road	Drainage	5%	\$22,500

Council officers reminded to ensure that all payment claims and where necessary, acquittals are finalised before the end of the financial year end to ensure full expenditure of TIDS funding and to enable any potential underspend to be reallocated to banked projects.

4. RMPC Working Group

- Amanda advised that the RMPC Working Group met for the first time on 26 May 2025.
- Jack Parry from Etheridge Shire Council was unfortunately unable to attend.
- It would be beneficial to have more than one representative from the region to ensure regional representation at the meetings.
- David Fletcher from Tablelands Regional Council advised that he would also be happy to attend.

ACTION ITEM 3. Amanda to circulate the minutes of the RMPC Working Group meeting on 26 May 2025 and notify Jarrod, LGAQ that David Fletcher, Tablelands Regional Council will be attending the RMPC Working Group meetings in addition to Jack Parry, Etheridge Shire Council.

5. FNQ Roads & Transport Forum

- Jarrod, LGAQ recently raised a query regarding the current training priorities to inform one of the sessions taking place at the upcoming Road & Transport Forum.
- It was agreed that the recent Unsealed Roads training was good and that it would be helpful to have a similar session on Sealed Roads.
- Cultural Heritage and betterment were also suggested as helpful topics.
- Jarrod also asked if there were any subjects of particular interest that they can cover try and cover at the forum and it was suggested that Ergon be asked to attend, to provide an overview of their timeframes and processes etc given recent issues experienced.

ACTION ITEM 4. Amanda to provide Jarrod, LGAQ with feedback provided regarding the FNQ Roads & Transport Forum.

6. Next Meeting

Amanda thanked everyone for making the time to attend this additional unscheduled workshop.
Next meeting – Next RRTG Thursday 6 June 2025. Next RRTG TC Friday 25 July 2025

The meeting closed at 2pm

ACTION ITEMS OVERLEAF

ACTION ITEMS – Program Workshop Friday 30 May 2025

Item	Action	Responsible Party																									
1.	Seek endorsement of the updated 24/25 – 27/28 program from the RRTG at their meeting on Thursday 5 June 2025.	Amanda Hancock, FNQROC																									
2.	<div>Seek endorsement of the following ‘banked projects’ from the RRTG at their meeting on Thursday 5 June 2025.</div> <table><tr><th>ID</th><th>Road Name</th><th>Description</th><th>Priority Score</th><th>TIDS</th></tr><tr><td>546</td><td>Bougainvillea Street</td><td>Pavement Rehab</td><td>12%</td><td>\$160,000</td></tr><tr><td>336</td><td>East Feluga Road</td><td>Drainage</td><td>11%</td><td>\$60,000</td></tr><tr><td>335</td><td>East Feluga Road</td><td>Drainage</td><td>6%</td><td>\$50,000</td></tr><tr><td>322</td><td>De Luca Road</td><td>Drainage</td><td>5%</td><td>\$22,500</td></tr></table>	ID	Road Name	Description	Priority Score	TIDS	546	Bougainvillea Street	Pavement Rehab	12%	\$160,000	336	East Feluga Road	Drainage	11%	\$60,000	335	East Feluga Road	Drainage	6%	\$50,000	322	De Luca Road	Drainage	5%	\$22,500	Amanda Hancock, FNQROC
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4.	Amanda to provide Jarrod, LGAQ with feedback provided regarding the FNQ Roads & Transport Forrum.	Amanda Hancock, FNQROC																									

Water Filling Stations

The equipment is designed and manufactured In Sydney and can be customised to meet specific requirements. The equipment has been designed as a modular construction, allowing ease of installation and service. Each of the electronic components are black boxes that slide into self-locating plugs and sockets, allowing exchange by unskilled persons. This concept simplifies the support of Abberfield products regardless of the installed location.

WD2500 SPECIFICATION

Plumbing

- 50mm plumbing system.
- 50mm camloc outlet.
- 25mm T tap outlet.
- Outlets angled down (to prevent contamination).
- Testable double check valve with strainer and isolation ball valve.
- Additional backflow protection on one way flap valves at each tap outlet.
- Screwed plumbing system pre-assembled and pressure tested.
- Concealed plumbing usually rising into secure stainless steel housing.
- Ball valve on incoming pipe.
- Split unit allows removal of the complete plumbing system.
- Ultrasonic flow meter.
- Pilot operated servo assisted soft close water valve.
- Plumbing outlets are height adjustable to accommodate varying input connections.
- Full access removable panel via concealed security screws.
- Housing painted 316 stainless steel powder coated to customer's colour choice or default colour of acid green.

Electronics

- Credit card operated, (using Visa and Master Card, debit card or credit card).
- Mains operated.
- Optional integrated switchboard with RCD controlled switch and internal RCD controlled power point.
- Optional mains failure back up battery.
- Control cabinet with 10 point double acting locking system.
- Electronics are directly plugged in modules, power supply, control module, configuration module and battery module. Sealed plug in modules allow on site exchange of parts by unskilled persons.
- Optional solar operation.

Other Features

- Overhead heat shield and rear heat deflector.
- Kick proof buttons (magnetically operated contacts in sealed capsule).
- "Top down" mounting securers cabinet from the upper section on long stainless steel bolts. This places the cabinet in compression, ensuring a ridged structure.
- Cabinet lifts off a secure removable stainless steel ground plate to allow ease of re-location.

BACK OFFICE DATA

To provide the most professional data and banking support Abberfield have partnered with

Card Access Services. Their portal is also used for information transfer, critical fault reporting and much more. Using Card Access Services as a principal partner has allowed great flexibility in the systems configurable functionality.

We confirm that the equipment supply is contracted with Abberfield Technology and the data processing is contracted with Card Access Services. Please contact Stelios Savva, Card Access Services, email ssavva@cardaccess.com.au phone (02) 99067209 or Alex Stanford email astanford@cardaccess.com.au Phone 0400 520 120.

Experience confirms that you will find using Card Access Services smooths all of the considerable data processing and banking issues. Should you have any issues or need to discuss data processing with Abberfield further, please be in contact as necessary.

DATA PROCESING

- Reporting and Banking by Card Access Services.
- 4G Modem data transfer.

Warranty

Warranty is for 1 year. However, extended (and continuing) warranty is usually granted, at Abberfield’s discretion, subject to mutually respectful relations being established.

QUOTATION

Model WD2500 (25mm outlets) we quote \$ 31,015-00 each

OR

Model WD2500 (50mm camlock and a 25mm tap outlet) we quote \$35,200-00 each

Signage

Each machine is labelled with operating instructions and included the customer’s logo, telephone numbers etc.
Artwork and labelling has a once off cost of A\$850-00 per machine.

Solar Panels (optional)

The solar panel and pole assembly consists of a stainless steel pole with a base plate that bolts to a separate in-concrete stainless-steel footing.

We recommend the optional tabernacle to allow hinged lowering of the solar pole.

Quotation for Solar Options

170watt solar panel on stainless steel pole with stainless steel adjustable head assembly \$ 4,960-00 each

Optional Items

Solar Pole Tabernacle ion heavy gauge stainless steel \$ 2,880-00 each

Other Options – Quotation

- Battery and charger module with gell cell **and** Lithium batteries
(for solar charging or mains failure) \$ 1,950-00 each

Account Cards

Account Cards with Abberfield generic artwork \$4.50 each
(Minimum purchase quantity 50 cards).

Account Cards with customer’s artwork \$4.50 each
(Minimum purchase quantity 400 cards).

Artwork and print setup to customise cards \$ 640-00 per card type.

Freight Hardware

Purpose built pallets and transport hardware \$312-00 each machine.

NOTE this charge is refundable upon collection of or return of the pallets etc.

Specialist in Revenue Collection Equipment Designed & Manufactured in Australia



Committed to Customer Support



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170watt solar panel on stainless steel pole with stainless steel adjustable head assembly \$ 4,960-00 each

Optional Items

Solar Pole Tabernacle ion heavy gauge stainless steel \$ 2,880-00 each

Other Options – Quotation

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(Minimum purchase quantity 400 cards).

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Freight Hardware

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NOTE this charge is refundable upon collection of or return of the pallets etc.

Specialist in Revenue Collection Equipment Designed & Manufactured in Australia



Committed to Customer Support





THE ABBERFIELD GROUP

Data Processing & Banking Overview

for Water Filling Stations

A Complex Operation Made Simple
for Abberfield's Customers

Problems with water theft?

Need secure access to water in the community?

Take advantage of the NEW technology. Installations can include credit card, stored value or account card operation, as well as coin and token payment systems.

Designed and manufactured in Australia for the Australia landscape:

- Configured to meet local requirements
- Council sustainability objectives met
- Payment options: credit, debit, account card, stored value card, coin and token
- Two outlets: one outlet for RVs and public use, one for tankers. Now smaller containers can be filled with a garden hose, right through to large water tankers utilising high volume pipes; all from the one machine
- Modular construction - replaceable electronics plug-in and can be remotely serviced by unskilled staff
- Plumbing is contained in the base, electronics in the top
- Available 24 hours or nominated hours only
- Optional battery backup with optional solar power
- Online management providing live reporting and remote diagnostics
- Anti-vandal construction
- Insect repellent
- Designed for heat mitigation making them suitable for Australia's hot climate
- Small in size making them easy to move to another site if required



See pg 2 for Back Office and Banking Process

Data Processing

- Central base communicating with all machines
- Approving payment process
- Transferring funds from end customer to clients bank
- Providing audit trail and usage reporting
- Remote machine configuration capability
- System diagnostic capability

Abberfield Industries and Abberfield Technology embrace all of the equipment design, manufacturer and site related support. Everything is offered, mechanical, electrical, electronic hardware, operating software and site-related data communication. The Abberfield Group have very extensive capabilities, based on decades of experience with similar products.

One area not adequately supported, in-house, is the financial institution processes and the actual banking function. These are outsourcing to specialist organisations.

The compliance requirements to protect the data being transmitted is extensive (including credit card details). The compliance approvals processes regularly verified by the banking industry and separately by the credit card industry, is demanding and expensive.

Then the Abberfield system adds enhanced system functionality, in particular Account card usage and detailed diagnostics, all processed through the highly regulated credit card data processing structure.

Driving this process is the objective of only one point of access for an end user, the credit card module, which also accepts account cards, stored value cards and other devices. Yet credit card compliance strictly protects the data process. Achieving total system co-ordination involves close collaboration between Abberfield's operating system and Abberfield's back office and banking partners, to use the credit card reader to also read account cards.

Whilst Abberfield maintain their independence and may partner with any of the back office organisations, our first choice was the industry leader, **Card Access Services** supported by their own banking facilitating organisation **Paymate**.

Card Access Services and Abberfield have a long association over many projects, not just water systems. The interlinking, fully compliant software has been developed and refined, now allowing new customers to "piggy back" on past experiences without the expense of new system integration. Abberfield and Card Access Services offer **worlds best practice** end to end compliant, customer configurable functionality.

There would be:

- One contract with Abberfield Technology for the equipment and data processing interface.
- A separate contract with Card Access Services / Paymate for the post installation ongoing data processing and banking services.



Enquiries for equipment are to: **Abberfield Group**

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2/20 Clarke Street, Crows Nest
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T: 9906 7209

E: ssavva@cardaccess.com.au

General Manager: Stelios Savva

Support: Alex Stanford

*Refer to Abberfield's technical
brochure for details of the
reporting and diagnostic
functions.*

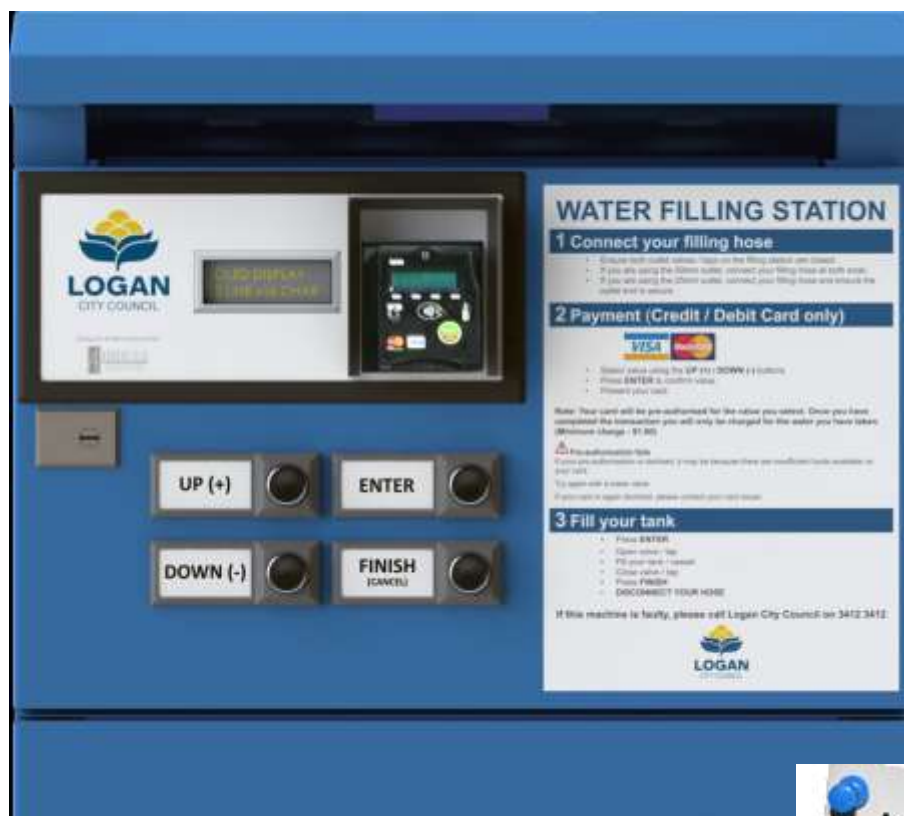


SERIES WD2500

Water Dispensing Station

INSTALLATION & SUPPORT MANUAL

Revision: 2.8



PREPARED BY



ABBERFIELD INDUSTRIES PTY LTD
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Role	Name	Revision
Author	John Colyer	
Author	Emily Langley	2.3
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Author	John Colyer	2.6 Additional Solar panel information 18/03/18
Author	John Colyer	2.7 Added Electrical, Battery Maintenance, Concrete Plinth 15/07/20
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1. INTRODUCTION



WD2500 INSTALLED ON-SITE



Photograph has taps straight out. Taps are recommended to be at 45 degrees. This gives less strain on the outlet hoses, ensures contaminated water does not pool in the outlet fillings and gives a neater appearance.

Abberfield's policy of producing the highest quality of design and manufacture means that improvements are made whenever opportunity permits.

NEW STAINLESS PLUMBING

One improvement is using a stainless steel plumbing system in place of brass and the layout of the component parts has also changed.



Each system is preassembled pressure tested to simplify the installation. To ensure that the plumbing survives rough handling in transport, where possible the plumbing pipe connections will be welded. Other threaded connections will be bound together with a very special watermark approved two pack epoxy sealant.

Welded or epoxy glued the plumbing system becomes rigid, not intended for adjustment. However if adjustments are needed (such as if the incoming plumbing is out of position), there is a way.

1. The output side plates slide up and down by approximately 80mm. Front to back there is some movement, but for the best appearance the front of the side plates needs to align with the front edge of the cabinet.
2. To adjust the relationship of the output pipes with input, there are split unions on each outer vertical leg, one on the flow meter and one on the double check valve. Slightly loosening the top and the bottom of each split union will allow the plumbing to rotate around each split union, moving the outlet forward or backward or the outer vertical parts towards each other or apart as required.

EXTERNAL BACKFLOW PROTECTION

For sites with existing backflow protection the stainless system is available without the testable double check valve. These are physically interchangeable with the normal plumbing as the inlet out outlet pipes will align one with the other.

Photo to be added

EXTERNAL FITTED RPZ

Abberfield provide an option to have an RPZ installed external but concealed behind the cabinet.

Positioned here, with a protective and decorative integrated enclosure the RPZ can discharge water outside of the cabinet. The internal plumbing remains as described.



WD2500 fitted with 25mm plumbing only

Note: The Installation Manual has been written for the more normal 50mm plumbing system, but 25mm generally uses the same instructions.

2. DOCUMENT PURPOSE

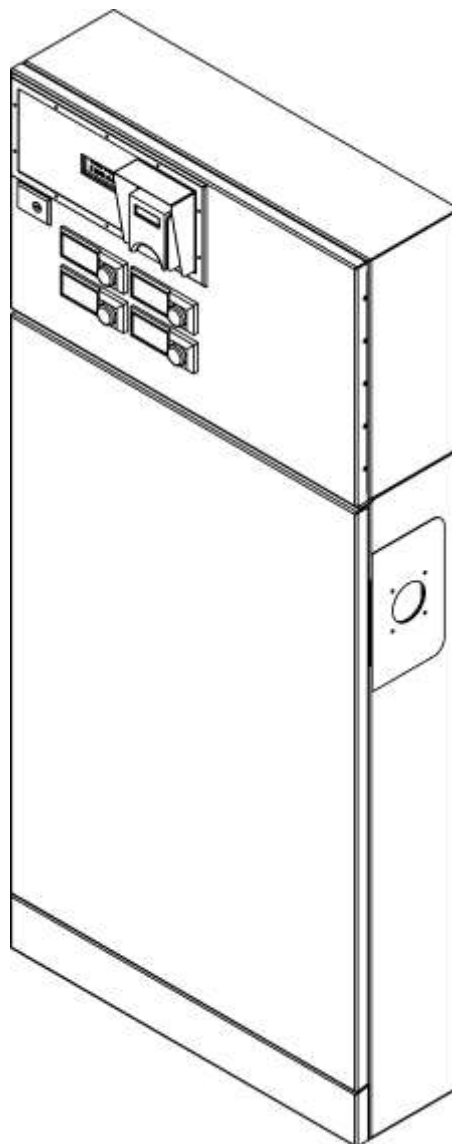
This document provides a system overview for the WD2500 Series Water Dispensing Stations and guidance for installation. Included are appendix on Features and Settings, plus Maintenance, Service and Fault Diagnosis.

3. DELIVERY

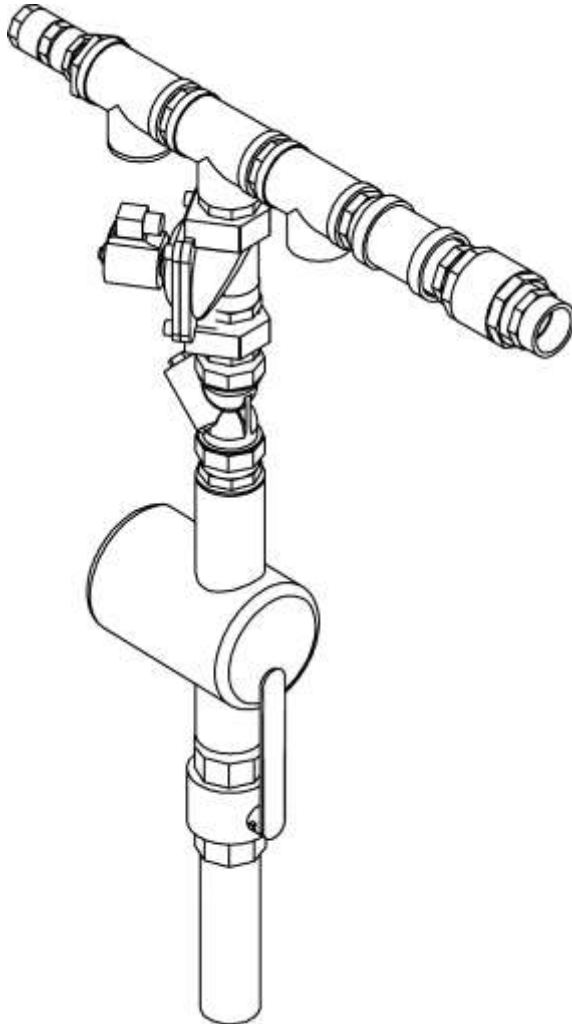
The machine consists of a ground plate securely attached to a concrete slab; the plumbing assembly rising through the ground plate and the cabinet are individually attached to the ground plate itself.

Delivery is expected to be in two parts:

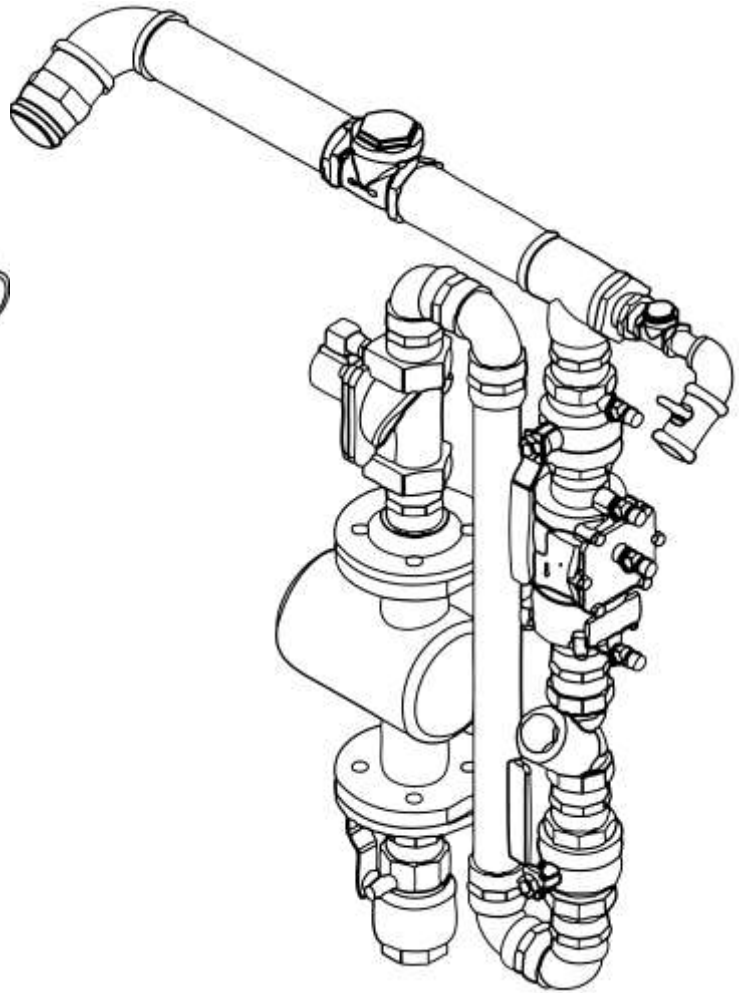
Ground Plate and Cabinet



Plumbing Assembly



External Backflow Protection



Internal Backflow Protection

Drawing shows flanged fittings, not typically used.
Later versions use screwed plumbing split unions.

Note: Plumbing systems can be supplied with or without backflow protection.

As delivered the cabinet will be pre-assembled with the ground plate attached to a purpose built pallet. This way the cabinet can be easily handled by a fork lift or a pallet lifting device.

The pre-assembled and pressure tested plumbing will be supplied separately.

It will be necessary to dis-assemble the cabinet. See next page for dis-assembly instructions.

Note: The plumbing assembly can be removed from the cabinet as a single item. Therefore, make sure that all wiring is positioned **behind** the plumbing, **not** in front of the plumbing.

If the backflow protection is external, it can come from a pre-existing device or it can be from a Residual Pressure Zone device (RPZ) integrated with the Filling Station, mounted behind the cabinet, with its own separately lockable housing. External mounting is because RPZ's will discharge flushing water and need to lay horizontal (not possible inside of the cabinet).

The typical plumbing is a 50mm system; however other pipe sizes can be installed.

Increasingly common is 25mm used for tourist information or waste disposal sites frequented by Recreational Vehicles.

25mm plumbing system photo to be added

STAINLESS STEEL VERSUS BRASS

Typically plumbing systems were in screwed brass, still available, but the trend is to screwed stainless steel or even welded stainless steel.

The first move was to have welded outlet piping for neatness, leak proofing and to present theft of the plumbing. The outlet plumbing screws into the cabinet mounted plumbing and theft is prevented by using a hose clamp around the pipe inside of the cabinet. Then the quality of brass fittings became a concern, being subject to cracks and the angular bends being much less than 90 degrees, plus the lead content understood to be greater than 2.5%.

Screwed stainless proved superior, but at a higher cost.

Now welding of the internal stainless is implemented, because even stainless elbows are less than 90 degrees (better than brass and by welding they can be made square). In particular, welding ensures a ridged structure better able to withstand rough treatment in cartage to distant locations.

ELECTROLYSIS

Recognising that electrolysis can occur between dissimilar metals that are constantly wet, Abberfield allows a barrier to dissimilar metals (although the risk is less than some believe). The incoming isolation ball valve is in brass (expected to be connected to the incoming copper piping); - then between the ball valve and the stainless flow meter is a flange gasket. This gasket prevents metal to metal contact in the wetted area, reducing to near zero any electrolysis action. Decades of reliable operation can be assured.

4. HEAT MITIGATION

Water Filling Stations are usually installed in locations of direct sunlight, without any form of shading. The operating temperature of the electronics is extreme and considerable engineering is employed to allow reliable operation.

Lighter colours will better reflect the excess sun's rays. It is recommended that dark cabinet colours are avoided, bright colours should be chosen with acid green the default colour.

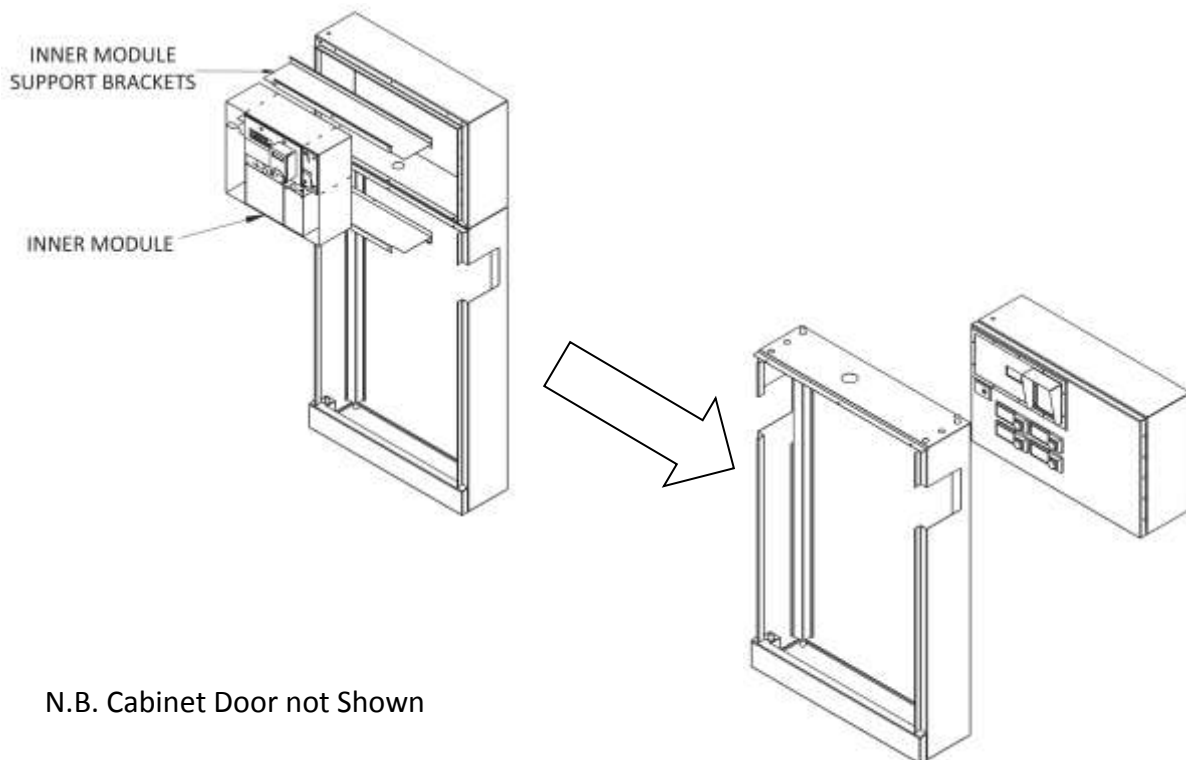
It is also highly recommended that trees are planted adjacent to the Filling Stations, to provide shade, particularly from the midday or afternoon sun.

Better still would be shelter over the cabinet, although with over 200 installations to date, none have a shelter.

5. PREPARATION

5.1. Dis-assembly of Cabinet

1. Remove stand door and plumbing cover plates.
2. Remove inner module.
3. Disconnect antenna and wiring harness plug behind the power supply.
4. Remove the lower inner module support brackets to access nuts holding the cabinet ground plate (no need to remove the top support bracket).
5. Remove nuts and bolts holding cabinet to stand, remove cabinet from the stand.
6. Lift stand off the ground plate.



N.B. Cabinet Door not Shown

Alternatively, Step 2 (separating the cabinet from the stand) can be avoided; it saves removing wires between the cabinet and the stand. But it increases the difficulty of installing the machine over the ground plate top-down mounting threaded rods (more man power to lift the cabinet assembly over the mounting threaded section, or use of a Hiab or similar lifting device).

6. CONSTRUCTION

6.1. Preparation of Area

Prepare a concrete slab which should be large enough to provide physical security. Services of water and electricity can enter through the concrete or through a preformed clearance hole in the concrete slab. This preformed slab-opening allows plumbing and electricals to enter (or to be added later), without less strain on fixtures if the slab is disturbed.

When preparing the slab (precast or in situ formed), ensure that it is level, with an even, flat surface, or the cabinet will lean. This also prevents cabinet distortion on installation.

The outside edges of the slab may be slightly angled down to shed spilt water but the slab must be flat in the area under the cabinet.

Consideration might be given to incorporating a drain under each tap outlet to carry away dripping water.

Note: If required a retrofittable drip tray can be added to the cabinet.

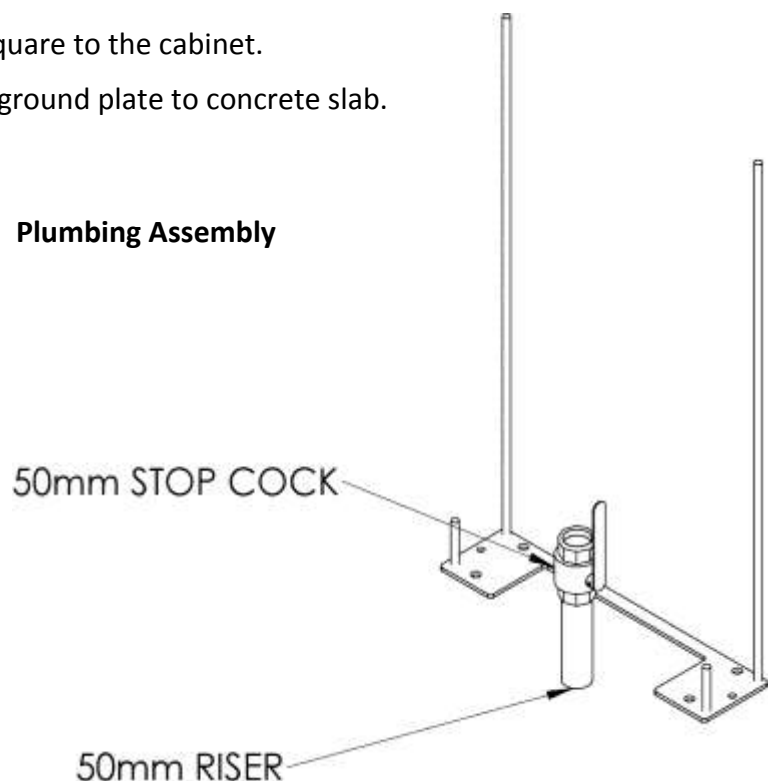
6.2. Plumbing and Ground Base

Inlet plumbing must be installed vertical, with the minimum angular movement or the riser and tap outlets will not align correctly.

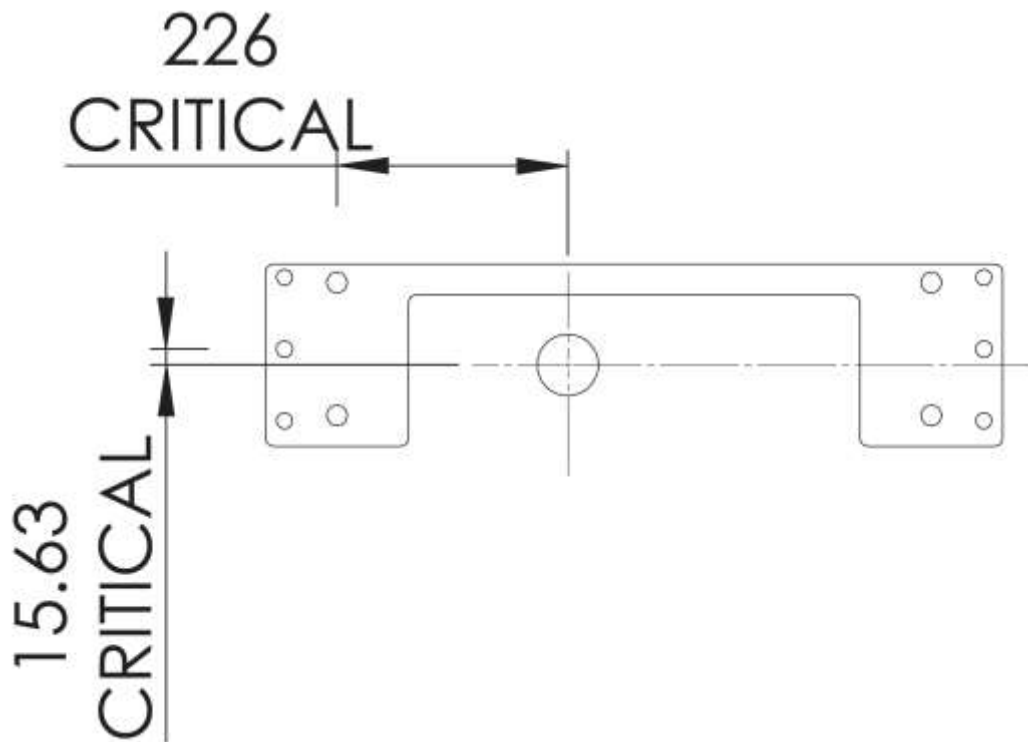
The handle for the stop cock should be to the right side and set to operate vertical for open and towards the rear (clockwise) for close.

1. Mount plumbing stop cock square to the cabinet.
2. Position correctly and install ground plate to concrete slab.

Plumbing Assembly



3. Accurately position the ground plate relative to the inlet plumbing, as this controls the position of the cabinet.



Ground Plate / Inlet Valve Positioning

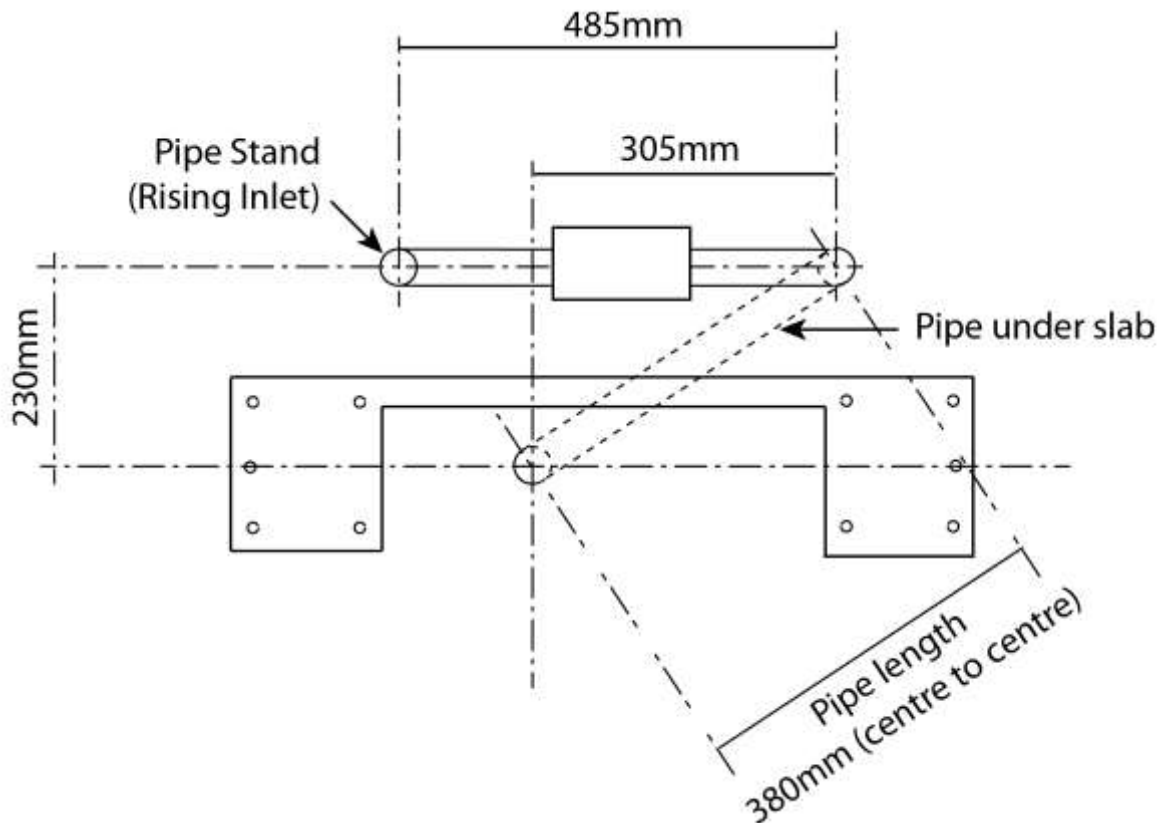
Securing the ground plate to the concrete slab should be done with care.

Note: The position of the ground plate to the plumbing is **important**, or the plumbing may not fit inside the cabinet.

The ground plate must be very secure; the load imparted to secure the cabinet will be a lifting motion directly to the mounting attachment. One option is to imbed an anchor plate into the slab.

If an external residual pressure device is used there will be a U section plumbing part concreted into the base to accept uprising mains water, through the RPZ, down again and back up into the Filling Station cabinet. This provides the greatest straight plumbing before water reaches the flow meter, giving laminar rather than turbulent flow and provides the most accurate flow measurement.

Photo to be added



It is recommended that the incoming plumbing is positioned before the concrete slab is poured. Then it is the ground plate relative to the plumbing that finally sets the cabinet position.

Note: If an in-concrete anchor plate is used the position of the plumbing and anchor plate need careful setting to ensure a successful installation.

One option is to have the plumbing into and from the RPZ, plus into the Filling Station cabinet rise through voids in the concrete slab.

If the pipes are concreted directly it is recommended that they be lagged with a protective membrane as they pass through the concrete slab.

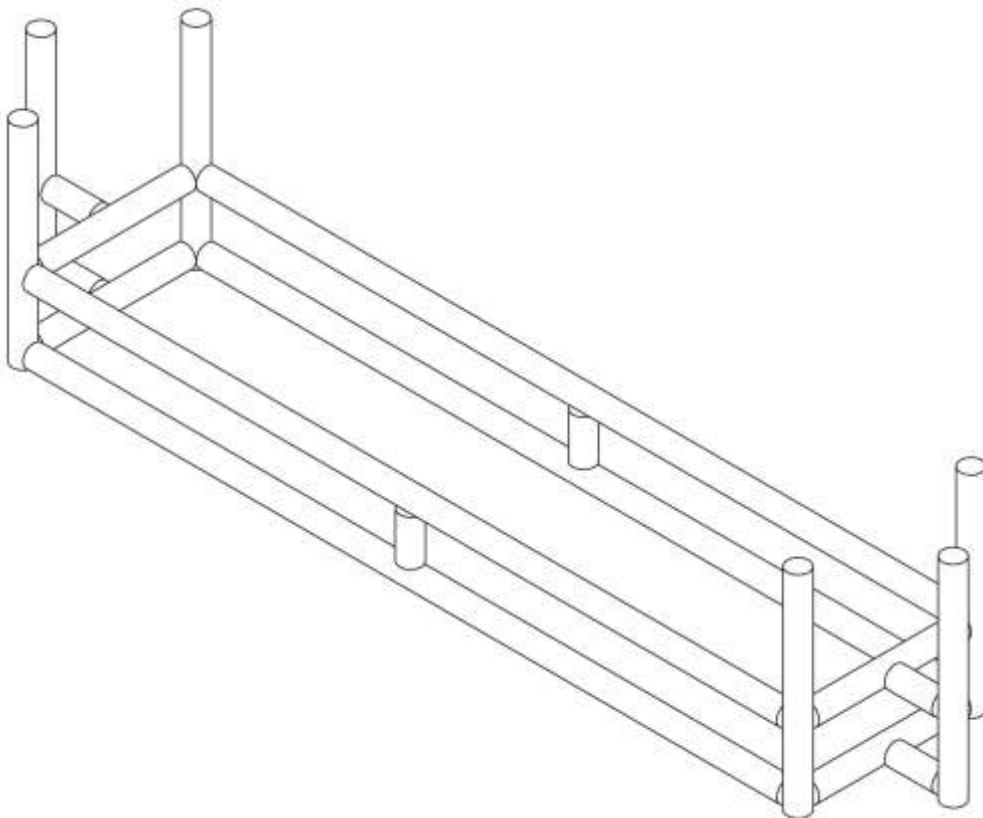
6.3. Anchor Plate (Optional)

Embedded into the concrete at time of construction this anchor plate will provide maximum security.

When installing ensure that concrete does not pile around the mounting bolts as this will prevent secure and flat mounting of the ground plate.

It is suggested that the stainless steel mounting bolts are taped during slab construction to keep the thread free of cement.

The mounting nuts must be greased. Plated steel will rust, stainless on stainless can molecular bond on a neat fit and be impossible to tighten or undo. Special silicon based anti-seize grease is supplied with each cabinet.



Anchor Plate

6.4. Plumbing Assembly

Above and below the flow meter is a split union which when loosened allows rotational movement of the remaining plumbing assembly.

The preassembled and pressure tested plumbing system comes with a test certificate.



6.5. Install Plumbing

This plumbing is usually connected to the incoming mains by removal of the lower split union (to the flow meter) and connecting the ball valve to the incoming supply. Then the plumbing system, as supplied without the outlet piping, is lifted into place and connected to the ball valve.

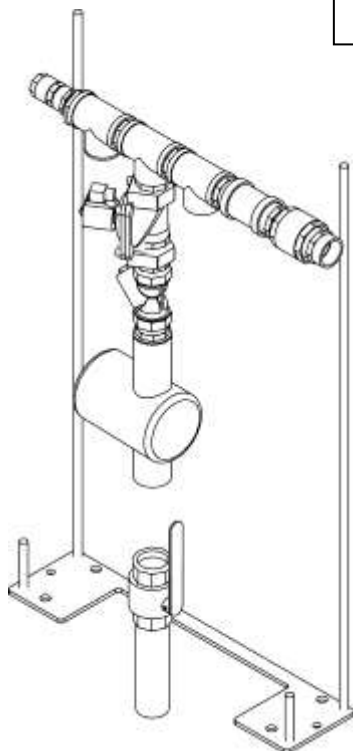
Note 1: If more convenient, the plumbing can be installed after the stand and cabinet.

Note 2: The plumbing system is designed so that it can be removed as a fully assembled item. This is achieved by undoing the split union just above the incoming isolation taps, plus undoing the side dress plates and then lifting the plumbing free from the cabinet. Therefore, make sure that the incoming mains or solar cables are carried up **behind**, not in front of the plumbing.

Install plumbing:

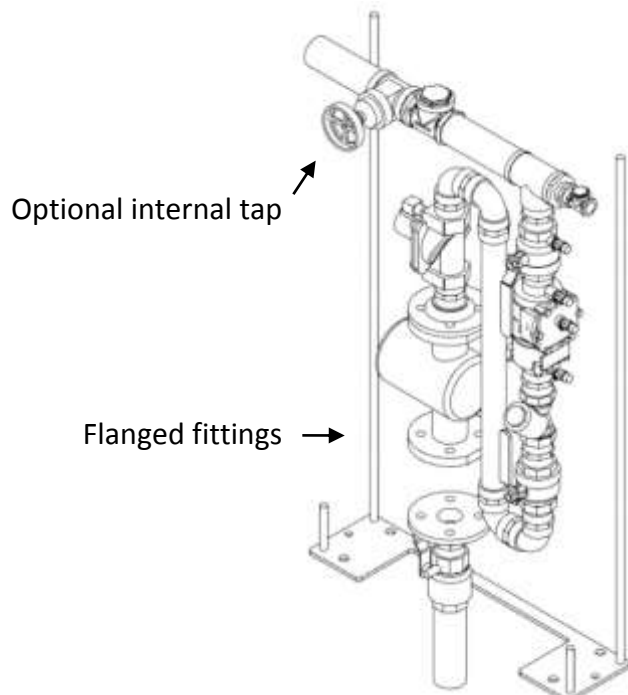
First generation plumbing.

Second and third generation to be shown in subsequent revisions and displayed on Abberfield's internet site.



External Backflow Protection

Drawing shows flanged fittings, not typically used.
Later versions use screwed plumbing split unions.
Internal tap also not typically used.



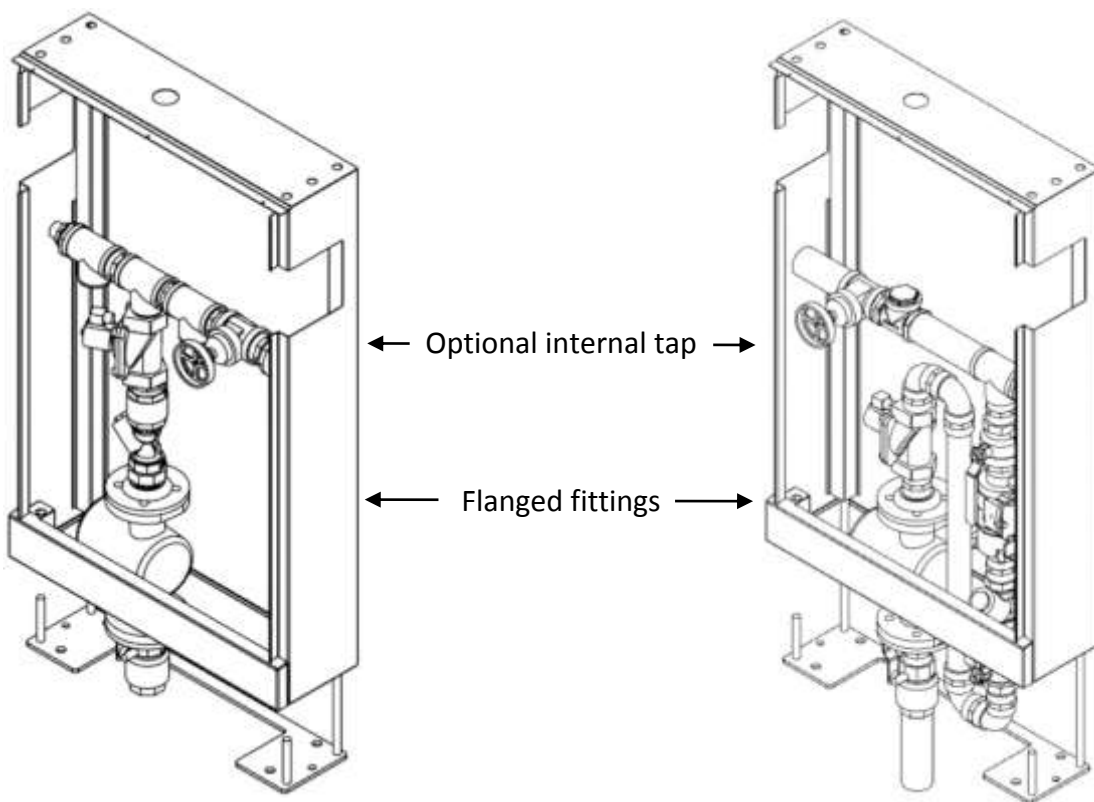
Internal Backflow Protection

6.6. Bottom Cabinet

1. Lower stand over ground plate and plumbing (or stand and cabinet if remaining together).

First generation plumbing.

Second and third generation to be shown in subsequent revisions and displayed on Abberfield's internet site.



External Backflow Protection

Internal Backflow Protection

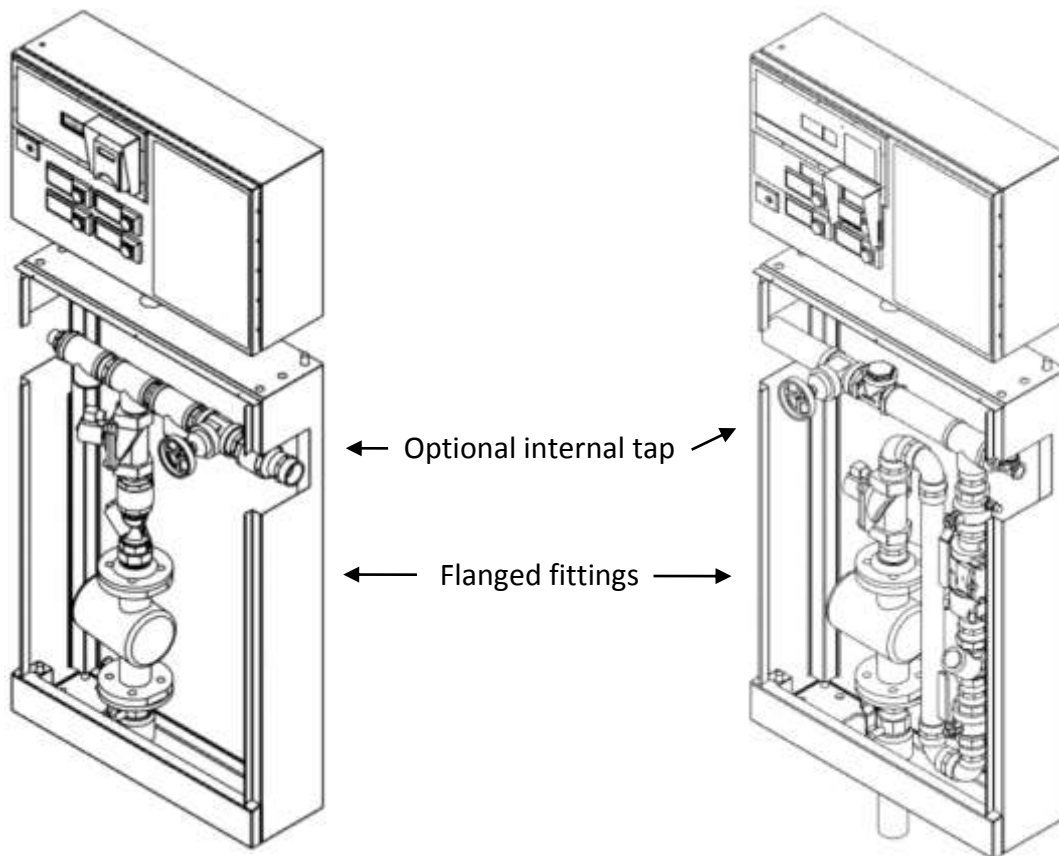
Drawings show flanged fittings, not typically used.
 Later versions use screwed plumbing split unions.
 Internal tap also not typically used.

6.7. Top Cabinet

1. Lower cabinet onto stand.
2. Secure using M16 nuts and bolts provided, use grease or anti-seize on the stainless steel bolts.
3. Connect mains power and the flow meter sensor to the flow meter.

First generation plumbing.

Second and third generation to be shown in subsequent revisions and displayed on Abberfield's internet site.



External Backflow Protection

Internal Backflow Protection

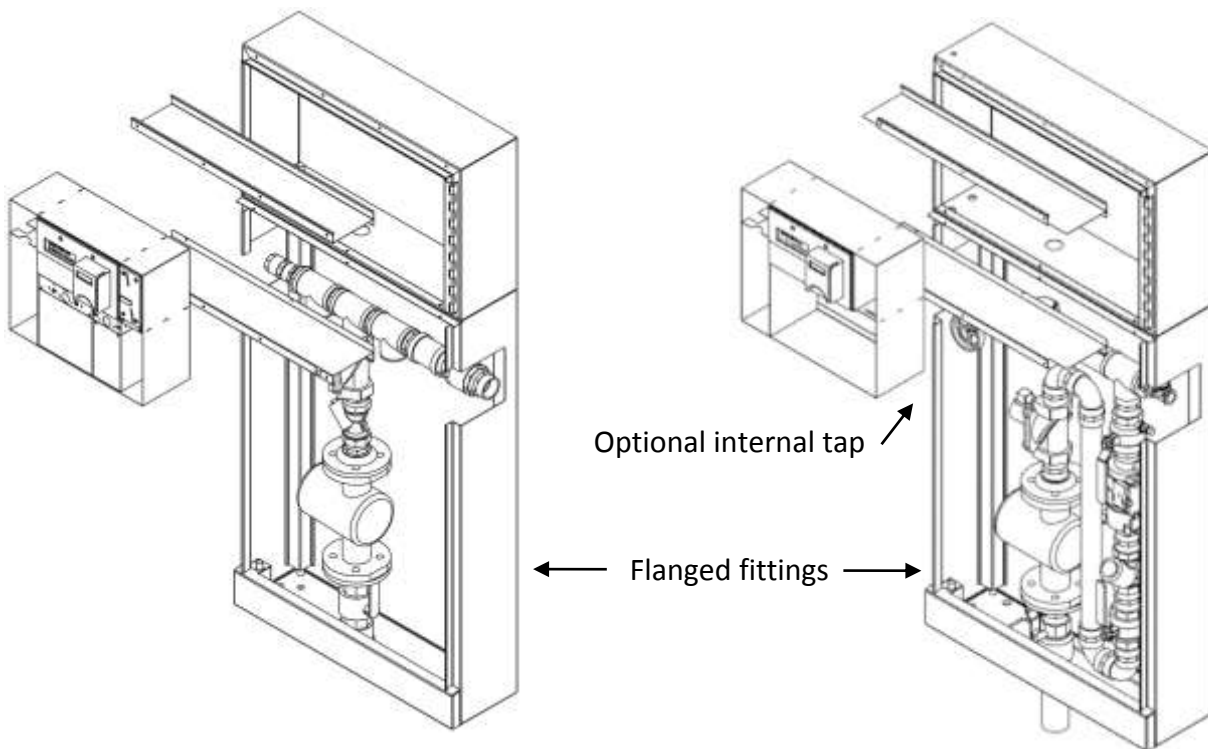
Drawings show flanged fittings, not typically used.
 Later versions use screwed plumbing split unions.
 Internal tap also not typically used.

6.8. Inner Cabinet and Modules

1. Secure inner module support brackets using CSK S/S screw provided.
2. Install inner module to left of the cabinet secure using screws provided.

First generation plumbing.

Second and third generation to be shown in subsequent revisions and displayed on Abberfield's internet site.



External Backflow Protection

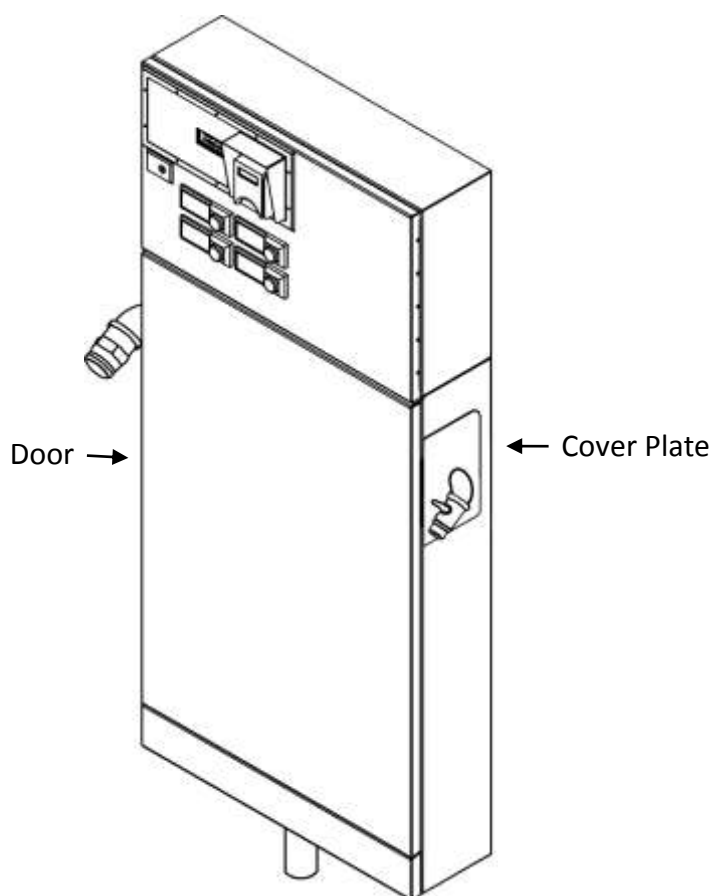
Internal Backflow Protection

Drawings show flanged fittings, not typically used.
 Later versions use screwed plumbing split unions.
 Internal tap also not typically used.

6.9. Covers and External Attachments

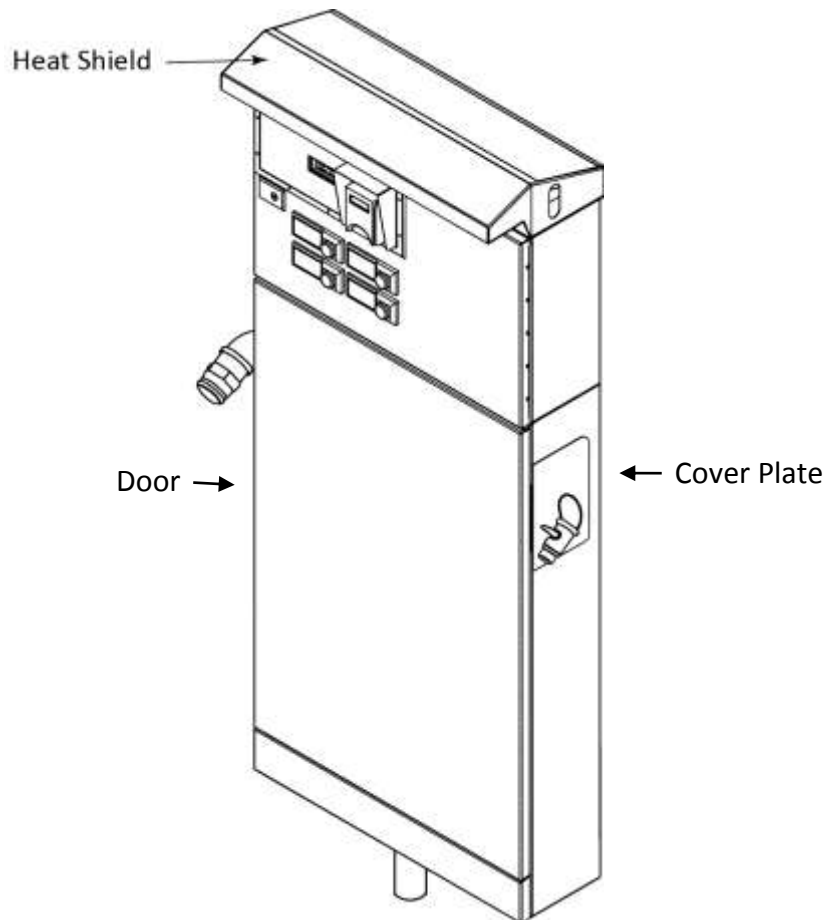
1. Install plumbing cover plates.
2. Screw in 25mm outlet and 50mm camlock, then add the outlet pipe assemblies (usually pre-welded stainless steel pipes).
3. Use the cover plates as a template to drill the cabinet and secure cover plates to cabinet with screws provided. *Note:* the template front edge should be level with the front edge of the cabinet.
4. Fit hose clamps to outlet pipes, inside the cover plates (to prevent theft).
5. Install stand door.

Note: **Outlet should face down at 45 degrees.** Straight out is wrong (too much strain on the hoses and pooling of contaminated water in the outlets can occur).



6.10. Heat Shield

1. Install heat shield



7. ELECTRICAL

The WD2500 can include a switchboard comprising:

- Mains switch
- RCD machine supply switch
- RCD power outlet

Electricians wire this in the locked cabinet provided to the right of the controller and connect the flexible mains lead that is pre-wired to the control cabinet. The main earth lug (stainless M6 stud) should be used, additional to any other earth strapping. Cable size can be minimal as the operating current is negligible. However a 10 amp GPO is normally included for service purposes and this then dictates the mains cable size.

POWER BOARD

The switchboard cabinet has provision to include a meter board but there is no expectation of this ever being required, since the current draw is minimal and water services are considered an essential service.

If an external solar panel is fitted the input connects to the “solar + and –” inputs. The battery module slides into place under the controller.

If an external solar panel is fitted, then a larger battery and regulator / charger may be fitted external to the cabinet and cables run through to the control cabinet. These are connected to the terminal plate where marked “external regulated battery + and –”.

Note: The connection to the terminal switch plate will be from the battery not the solar panel and a regulator should be fitted to protect the battery and the system electronics. If a machine is known to be using an external solar panel this cable will be pre-fitted.



If Abberfield supply the external solar, included would be the pre-wired battery and regulator.

Power relays (optional)

One customised feature is to include power relays on the switchboard (with voltage free contacts), used for varying functionalities including:-

- External wide area lighting, on/off controlled by Abberfield’s controller.
- Pump activation, controlled by Abberfield’s controller.

TERMINAL SWITCH PLATE INSIDE CONTROL PANEL



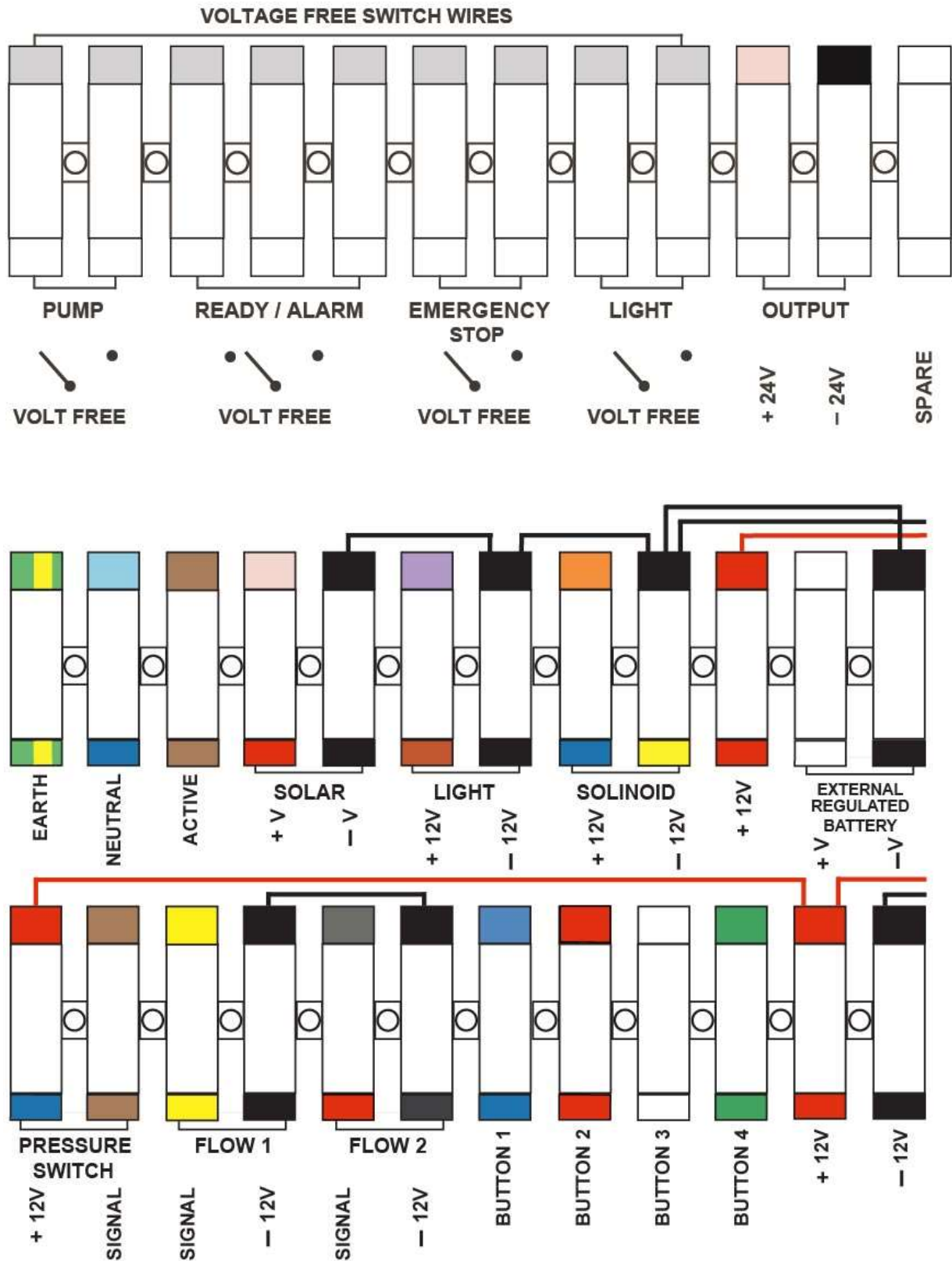


**TERMINAL SWITCH PLATE
WITH EXPANSION
TERMINALS**

INSIDE CONTROL PANEL

*Note: wire colours to be
added*

TERMINAL SWITCH PLATE WIRING LABEL WITH EXPANSION TERMINALS



Since the plumbing can be removed from the cabinet as a whole assembly, it is recommend that incoming mains or solar cables are routed behind the plumbing.

ENHANCE FUNCTIONALITY

Note the following is for special applications only, rarely required, but available on request.

Since Abberfield is a Research and Development based manufacturing company, customers' special requirements can be accommodated on a case by case basis. Sometimes this will mean the cable terminations are different, generally by adding to, rather than altering, the existing cable terminal plate connections. This is accommodated by having an **ENHANCED** termination plate as follows.

Pump Control

Primarily for where a pump is used to deliver water directly to the Filling Station and there is concern about water surge protection. Electrical pump control is available direct from Abberfield's controller, where the pump is only energised after a card payment transaction and only during the water delivery period. Pumps that maintain a pressure in the water line and are fitted with an accumulator tank and pressure switch generally do not need electrical pump control, although this can be fitted if required.

On validation of a card payment the Abberfield control electronics first turns on the electrically operated outlet water valve. After a very short (adjustable) time the pump is energised.

On completing water delivery the pump is turned off first, and then the water valve.

This process reduces the chance of a pump start up or flow stoppage creating surge pressures that may stress the plumbing infrastructure.

It is also normal to include water line surge protectors, either or both a water hammer arrestor, or a pressure relief valve (See plumbing section).

Alarm Output

Terminals can be provided that give a failsafe normally open electrical contact. These contacts close if the Filling Station is out of action, including if power is disconnected. The contacts are voltage free, allowing any external alarm circuit to be implemented (up to 2amps). The alarm contacts are rated at 5amps – 240 Volt capacity. However Abberfield most strongly recommend the contacts are used for low voltage only, it is not safe to introduce 240 Volts into a Filling Station Controller that operates on a nominal 12 Volts DC. It is not possible to monitor all conditions that cause inability to transact a card payment and water delivery, but the most likely are included.

Disable Circuit

An input is available to disable the Filling Station in case of need, such as water not available, external emergency stop etc.

External Flow Metering

Water Flow meter pulses are available for external monitoring, perhaps as an input to a third party PLC system. These contacts are separate to the pulses used by Abberfield for the Filling Stations normal operation. Abberfield's controller used Flow1 inputs and the external pulses are on terminals labelled FLOW2.

External Flow Control

These are voltage free contacts that operate when the electric water valve is operating. One use is to operate a remote water valve but controlled by the Filling Stations controller. Another is an external signal for a third party PLC or other means of externally knowing when water is being delivered.

External Flow Input

Very occasionally the Abberfield Filling Station needs to operate using an external water discharge line rather than by the Filling Stations internal plumbing. This may require a separate flow meter and Abberfield's controller can be made to switch from one controller to another.

FLOW METER AND WATER VALVE

Electrical connections to these plumbing parts is all pre-wired and tested pre-delivery. However, as the plumbing assembly is delivered separate from the cabinet the electrical connections to these two items is unplugged. Part of the electrical installation is to locate these leads and plugs in the cabinet base and connect them, retaining each with the screws provided with the plugs.

Photo to be added

The leads are then neatly cable tied together.

Photo to be added

INSTALLATION OF CONTROL ELECTRONICS

The electronics are usually fitted on site by Abberfield staff, just to ensure that the installation has been professionally carried out. This is all part of Abberfield Technology's total service support.

The most extensive part of commissioning relates to the back office data processing, plus the configuring modems and the end to end testing of Triple dez data encryptions.

Having done that, installing the control electronics can be carried out by the customer, if Abberfield are unable to attend site.

There are 4 parts to the electronics;

1. Control Module.
2. Configuration Module.
3. Mains Power Supply (not needed if solar operated).
4. Battery Module (optional if only mains operated).

CONTROL MODULE



CONFIGURATION MODULE



MAINS POWER SUPP



BATTERY MODULE



The Controller, Configuration Module and Battery Module plug into self-locating docking stations engaging large gold-plated contacts. They are held in place with two security screws.

The Configuration Module has 3 polarised plugs that engage sockets and are held in place by the substantial contact pressure.

INSTALLATION METHOD

1. **Remove all power.**
2. Ensure both switches on the Configuration Module are in the off position.
3. Plug in the Configuration Module.
4. This is done by feel as each of the plugs engage their matching socket. To secure the module press the Configuration module in the area of each plug assembly and ensure all plugs are fully engaged. The front face of the Configuration Module should then be parallel with the back plane circuit board.
5. Slide the Controller Module into place, connect the 2 aerials and secure the holding screws.
6. Slide the battery module into place and secure the holding screws.

Installation Complete

- Then turn on the mains switch on the side plate underneath the Power Supply.
- Turn on the power switch on the face of the Power Supply.
- Turn on the system switch on the Configuration Module.

The controller should start up and make connection with the credit card and back office banking / control servers. Operate the Filling Station to confirm a successful installation.

8. ITEMS TO BE RETURNED TO ABBERFIELD

- Pallet
- Pallet attachment plates
- Unused bolt/nuts

9. SUPPORT INFORMATION

John Colyer
Laurie Kristo

Phone: (02) 9939 2844

Email: contact@abberfield.com.au

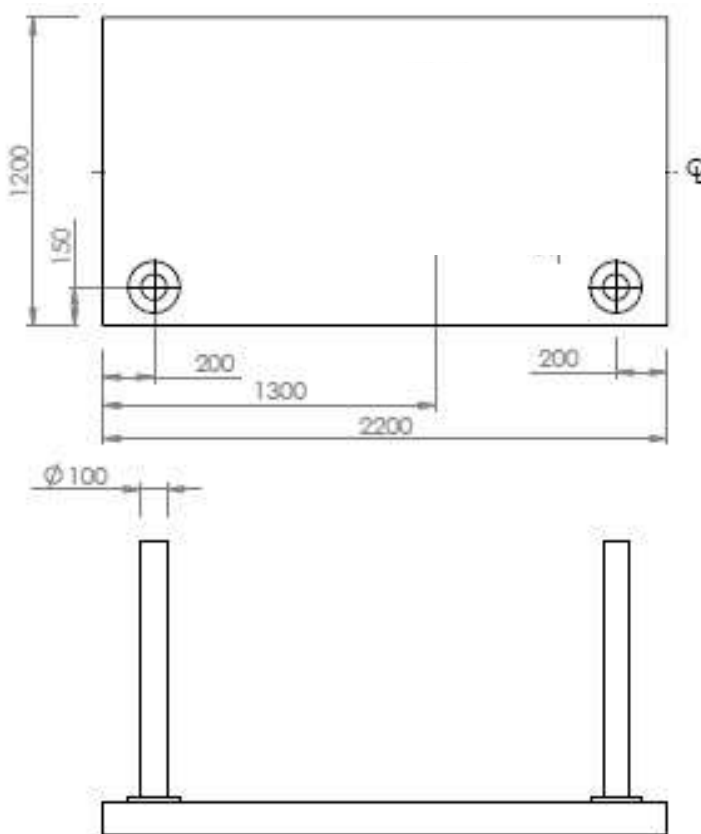
Mobile: 0414 427 708

APPENDIX 1 – SUGGESTED CONCRETE PLINTH DIMENSIONS (MACHINE ONLY)

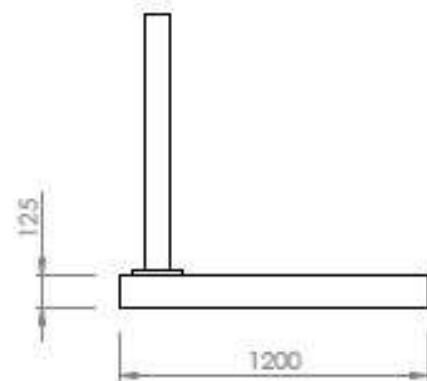
These suggested concrete plinth dimensions do not constitute an engineered design, but merely provide a suggestion for the slab design. Please consult with an engineer for specific installation requirements. As always Abberfield is available for assistance.

- Note 1:** When pouring the concrete it is recommended (but not essential) that the outer edges taper down slightly to prevent pooling of water. However the plinth should be level over the entire area of the Filling Station cabinet to ensure the cabinet sits evenly.
- Note 2:** It is recommended that the plinth is partially embedded and partially above ground, to prevent surrounding soil encroaching on to the plinth.
- Note 3:** Plinth should include perimeter ribs (perhaps 100mm x 100mm) or similar protection to resist sheer loading.
- Note 4:** For maximum protection, large bollards should be embedded in their own footing separate to the cabinet concrete plinth.
- Note 5:** Smaller bollards (frangible posts) can be bolted to the slab directly if the risk of vehicle collision is limited.

Slab recommended minimum dimensions



Note 1: Internal testable double check valves are usually used but very occasionally external Residual Pressure Zone Devices (RPZ) are used. These sit behind the cabinet and the minimum front to back dimension of 1200mm should become 1600mm. The slab should also have the rear central area scalloped rearwards to shed the RPZ discharged water away from the Filling Station cabinet.



MACHINE MOUNTING - WITH ANCHOR PLATE

The recommended method of attachment of the machine ground plate is on to an anchor plate (supplied by Abberfield) encased in the concrete slab. This presents stainless steel threaded rods over which the machine ground plate is positioned and locked into place. Use anti-seize lubricant on the threads of all bolts.

MACHINE MOUNTING - WITHOUT ANCHOR PLATE

If an anchor plate is not employed, the method of attachment is as follows:

1. Using a machine template (supplied by Abberfield) or using the machine ground plate as a template, mark the mounting positions for the ground plate.
2. Drill a hole 16mm or above to an adequate or convenient depth.
3. Set in stainless steel threaded studs in Chemset or epoxy (threaded studs available from Abberfield).
4. When the threaded rods are firmly set, position the ground plate and secure firmly.
5. Remember stainless steel threads should have anti-seize applied.

Alternatively, if conventional fasteners are used, please ensure these are of stainless steel, in keeping with the quality of the system.

APPENDIX 2 – SOLAR PANELS

It is possible to have a solar panel added on top, with sufficient capacity to allow the machines to operate in sleep mode (wake up for each operation). However, this normally only applies to larger Filling Stations as the WD2500 is smaller, the fitting of an on-board panel is not recommended. External solar panels on a pole are preferred.

ON-BOARD SOLAR PANEL



SOLAR ON A POLE

There are two solar pole options available:

- Option 1:* Galvanised pole concreted directly into the ground and the solar panel mounting head bolted directly to the pole (lowest cost but least used method).
- Option 2:* Stainless steel pole with mounting plate for bolting to an in-concrete encased mounting base, or alternatively bolted directly to a pre-existing concrete slab.
The head assembly then bolts over the pole in a manner that allows adjustment of panel orientation.
- Option 3:* With option 2 a tabernacle can be added to provide ease of installation or subsequent solar panel service, if ever needed.

Note: Option 2 is normally used and tabernacles are becoming common.

SOLAR POLE SYSTEM Option 1

The external kit comprises:

Galvanised pole, 75mm diameter
concreted directly into the ground and
the solar panel mounting head bolted
directly to the pole.

1. 85 watt solar panel.
2. 6 meter galvanised pole, 75mm
diameter.
3. Solar regulator.
4. Larger battery.

The solar panel has a purpose-built
mounting bracket that connects the
panel to the top of the pole, bolted in
position.

SOLAR PANEL



Option1

**SOLAR PANEL
MOUNTING BRACKET**

ELECTRICAL

Electrical connections at the solar panel are via
2 polarized and weatherproofed plugs and
sockets, one for positive and the other for
negative.



Abberfield supply a connecting lead from panel to cabinet, 11 meters in length.

If a longer lead is needed the Abberfield supplied lead can be extended using a large diameter conductor to minimise voltage transmission loss.



SOLAR PANEL CABLES

It is recommended that a stainless-steel cable is attached to the solar panel mounting bracket with clamps. If the outgoing electrical cable is attached to this stainless-steel cable, or a shackle with heat shrink tube or cable ties, if the cable is accidentally dropped down the pipe it can be recovered.

Installing with spare cable stored down the pole may allow later removal of the panel (via a cherry picker or similar) and lowering the panel to ground level, to affect a repair or replacement.

Note: These precautions are not needed if a tabernacle is used to mount the pole.

MECHANICAL

(Option 1) 6-meter-long poles are supplied and should be concrete in a ground footing to a depth of at least 500mm and diameter of 500mm, dependant on the nature of the ground. Preferably, the footing should have an undercut to provide greater stability and security.

The panel is angled at 45 degrees and should face north or slightly north-west (magnetic north).

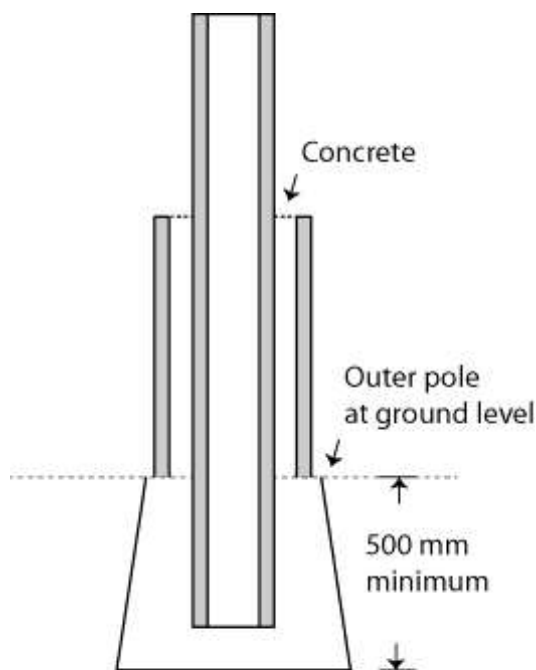
In many installations a pole length less than 6 meters is sufficient and the pole can be cut down as required. The lower the pole the more wind stable is the assembly.

THEFT PROTECTION

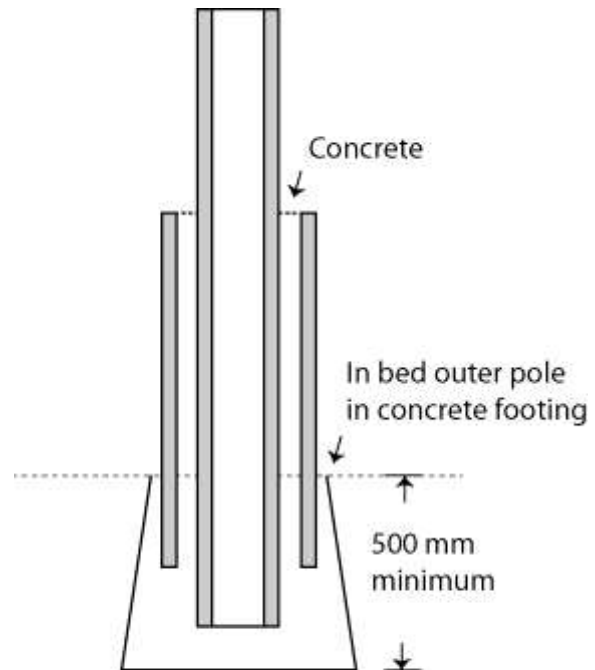
Some customers concerns about solar panel theft are increasingly less relevant.

If this concern remains the following protection can be used.

The small risk of poles being stolen can be minimised or overcome by fitting the pole within a shorter, larger diameter pole and filling the void with high MPA pea-gravel concrete. This extra pole considerably increases stability in windy conditions.



Theft Protection

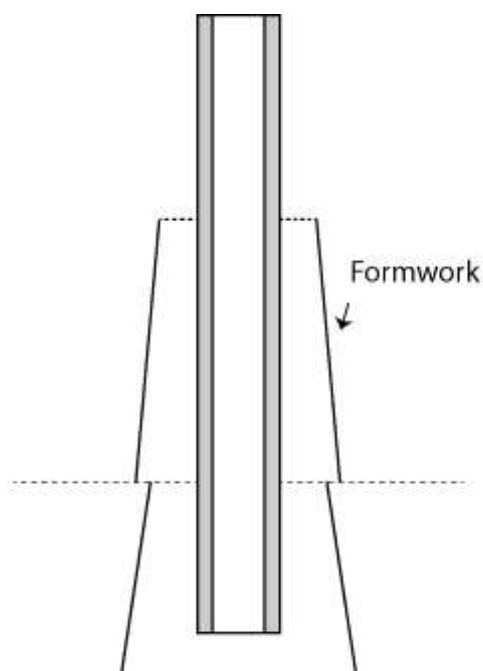


Theft and Wind Protection

The outer galvanized pipe should be fitted at the time of the initial installation. However, for an existing pole, formwork can easily be created to cast a base of pole concrete support, probably a square section and probably tapered vertically.

It is recommended that the lower section of the base be at least 300mm across, as even diamond tipped concrete cutting saws would not have a cutting depth sufficient to sever the pole.

For maximum protection include large diameter vertical reinforcing rods.



Fitting cast concrete support to existing pole

SOLAR POLE SYSTEM Option 2

(The more common solution)

CONCEPT

1. The pole is made of stainless steel fitted with a base plate.
2. Mounting is direct to a concrete slab or to an imbedded footing.
3. A stainless-steel footing for imbedding in concrete includes a re-enforced pole mounting plate with protruding studs. Alternatively, the pole baseplate can be bolted directly to an existing concrete slab.
4. Between the pole base and the ground mounting can be fitted an optional tabernacle (whether direct to concrete or to an imbedded footing).
This tabernacle allows the pole to be hinged down, facilitating installation or service.

Included is an option to padlock the tabernacle.

The tabernacle can be retrofitted at any time.

5. The head assembly attaching the panel to the pole can be rotated for best orientation.

DIMENSIONS

- Pole height 4.1 Meters (other lengths by negotiation).
- Pole diameter 73mm
- Footing depth 1 meter.
- Solar Panel 678 mm x 890 mm, 85 Watt output.
- Solar panel 1150 mm x 650 mm, 120 Watt output (recommended panel).

Note: 85 Watt is considered adequate for Abberfield Water Filling Stations applications in northern latitudes. In southern latitudes or for shaded positions the large panels (120 Watt) can be installed; however, a thicker wall section pole is normally used to satisfy windage protection.



POLE MOUNT

Optional
embedded footing

← Optional reo rod



SOLAR MOUNT HEAD ASSEMBLY
(with hinged dress panels)



SOLAR PANEL

POLE



POLE MOUNTING

The solar pole can be mounted directly to the concrete slab or to an imbedded stainless-steel footling assembly.

DIRECT MOUNTING

Perhaps the easiest method is to Chemset 4 x M16 stainless steel studs into the ground and when set attach the pole directly. Studs, washers and nuts form part of the kit supplied by Abberfield and the under plate and above plate washers can be used to adjust the pole being square.



STUD AND NUT ASSEMBLY

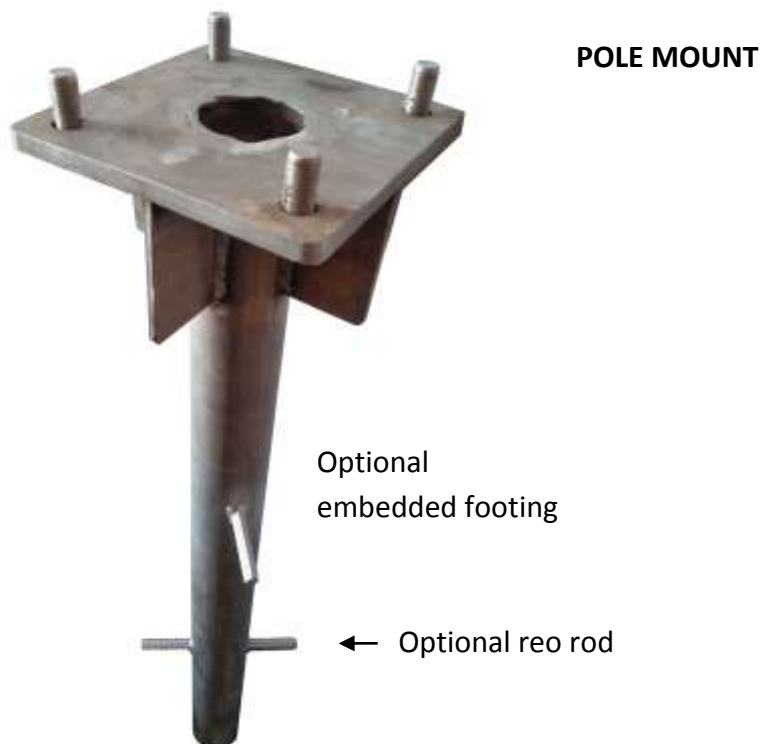
EMBEDDED FOOTING

This footing is for imbedding at the time of pouring the concrete. Made of stainless steel it will not rust, so the thickness of the concrete around the footing is less important.

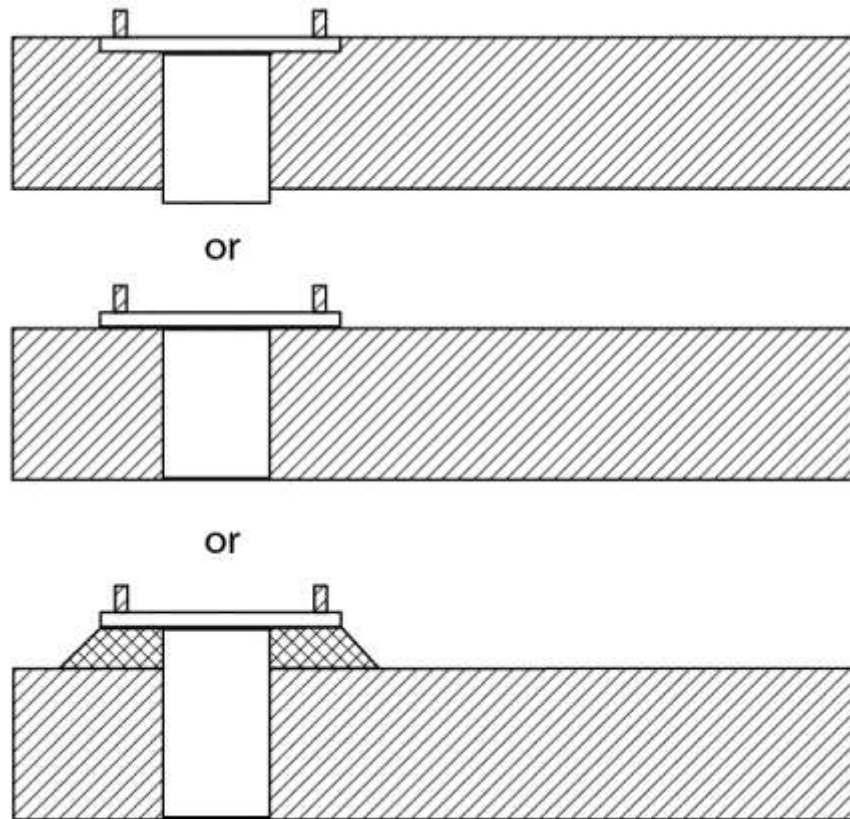
This stainless-steel assembly needs to be mounted square when embedded in concrete, or the pole will not be vertical.

It is recommended that as the concrete is poured a small spirit level is used on the mounting plate and if necessary, the footing is moved around during the pour to finish square and both forward and backwards as well as sideways. However, if not square when the concrete is set shim washers can be used to provide adjustment.

For neatness, mount the footing so that the square top plate aligns with the surrounding concrete slab or other infrastructure (parallel to edge).



The plate can be embedded flush with the concrete surface or elevated slightly, if this simplifies concreting. If elevated, the gap can be filled with sand cement and parged with a neat 45-degree edging.



CABLE PROVISION

When installing the imbedded footing a conduit for the solar voltage cables should be added. There are 2 ways to implement this conduit.

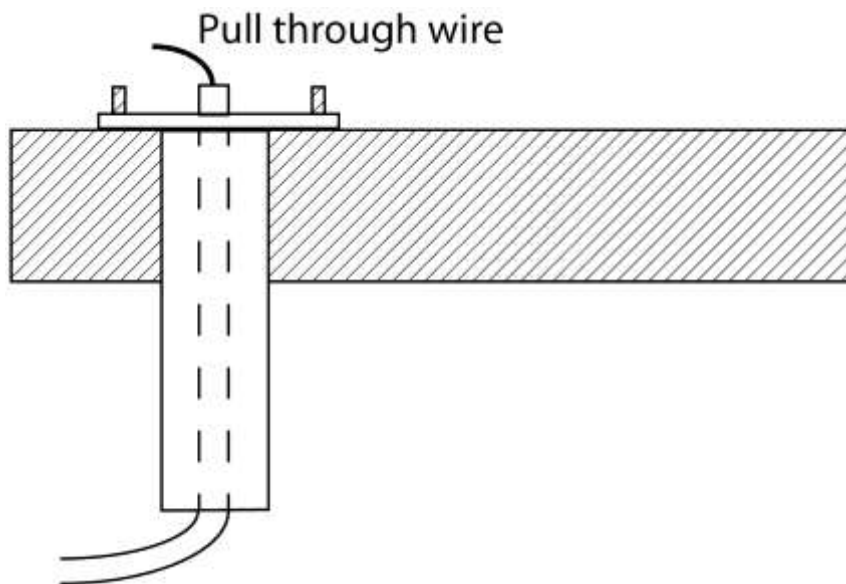
1. Via a conduit down the full length of the footing.
 2. A conduit passing through the wall in the footing just below ground level.
- Either method should leave the conduit finishing just above the ground level of the footing, to protrude into the solar pole.

FULL DEPTH FOOTING

The conduit should be continuous with long radius bends, instead of separate elbows.

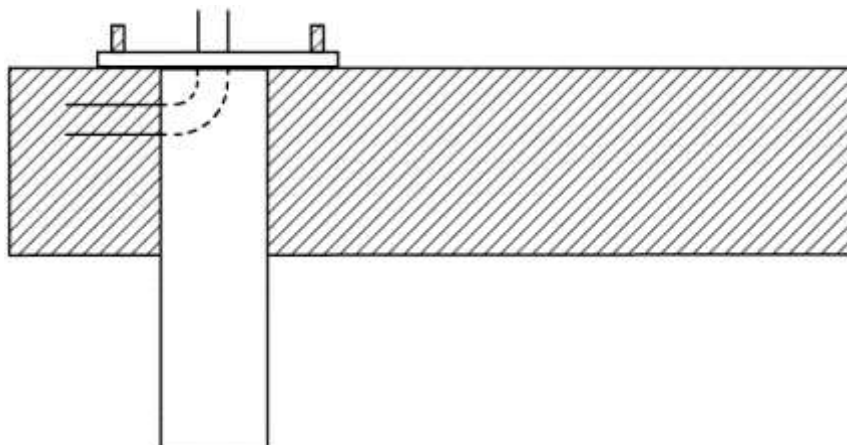
Down the conduit should be a pull through wire.

These measures ensure that a cable can be freely drawn through without catching on any obstructions.



NEAR SURFACE CONDUIT

Any size of conduit could be used but a larger conduit size is recommended, perhaps 32mm diameter. The conduit enters the footing pole through a large side hole and has an elbow to bring the conduit up the short distance to end just above ground level. The large diameter of the conduit and using the largest radius elbow ensures ease of feeding the solar supply cables.



ELECTRICAL

Electrical connections at the solar panel are via 2 polarized and weatherproofed plugs and sockets, one for positive and the other for negative.

The solar panel will have the connections already made and supplied separately will be the mating plugs/ sockets to attach to the customer supplied interconnecting lead. Ensure a large size cable is used to minimise voltage loss in transmission.



Metre lead supplied with the solar pole

ADJUSTMENT FOR POLE

Before the solar panel head is fitted to the pole it should be tested and adjusted to be vertically square.

Without the head fitted this adjustment procedure is a one- or two-man process.

After the head is fitted the procedure is the same but lifting equipment or more man power is required.

First there should be a mounting based embedded into the concrete.

If not there should be 4 bolts Chemset into the concrete slab.

Either way there will be 4 x M16 stainless steel studs protruding.

ADJUSTMENT METHOD

1. Lift the pole over the studs.
2. Using a spirit level check for any lean on the pole.
3. Since the pole is symmetrical all around, lift and reposition the pole into all 4 orientations to determine which position gives the most upright result.
4. If necessary, remove the pole and using the washers provided use adjusting shim washers to pack one or more of the studs and repeat the steps 1-3.
5. When the best vertical result is achieved, mark the orientation of the pole before removing and continuing the assembly.

MOUNTING PANEL HEAD

The head is designed to rotate around a collar welded to the pole so that it can be adjusted for orientation and is secured against wind lifting the panel. There are two “dress panels” covering the mounting assembly.

1. Remove the 4 x M6 bolts securing the dress panels.



DRESS PANELS CLOSED



DRESS PANELS OPEN

2. Hinge open the dress panels.
3. Remove the long 2 x M12 bolts that clamp the head assembly.
4. Close the mounting assembly over the pole and positioned with the opposing slots over the collar.
5. Fit and secure the 2 x M12 x 130mm bolts, using the washers provided. Consider the required heads orientation relative to the pole's orientation, determined from the adjustment for pole procedure (the panel should face north or magnetic north).
6. Hinge the dress panels to their closed position and fit the 4 x M6 securing bolts.

FITTING CABLE

1. A doubly insulated 2 core cable should be fed down the pole cut to the required length or longer. Pre-prepared cables are available from Abberfield Technology.
2. The two connecting plugs supplied should be fitted to the head assembly end. With the correct polarity so as to match the lead and plug assembly attached to the solar panel.
3. Not essential, but recommended, the cable could be secured by a cable tie to prevent it falling down the pole.

FITTING SOLAR PANEL

This is best done with the pole lying down, but the head assembly end lifted, perhaps with the pole resting on a stand of some form. This will allow freedom to position the panel without having to manipulate the pole head assembly at the same time. This procedure is best done with two workers, but can be done by one skilled person.

1. Remove the 4 x M6 bolts fitted to the arms of the head assembly, (used to attach the solar panel).
2. Connect the electrical plugs and sockets.
3. Consider which way around the panel is to mount. Although there can be two positions it is recommended that the junction box for the solar panel cable is to the top.
4. Take the panel and positioned at an angle to one of the head assembly wings one wing behind the panel mounting bracket, by rotating the panel to its square position.
5. Slide the panel up or down until the second arm aligns with cut-outs in the solar panel mounting bracket.
6. Slip the second arm behind the panel mounting bracket.
7. Align the panel so the mounting holes fit with the nuts on the arms and secure with the 4 x M6 securing bolts.
8. If required, refit the cable cover, intended to limit access by cockatoos that can hang upside down on the cables and chew through the cables.
9. If required, refit the bird roosting preventer.

SOLAR PANEL - BACK

Two cut-outs
to fit Solar Panel Head



MOUNTING POLE

1. Lay the panel with the mounting base close to the mounting studs.
2. Feed the electrical cable into the pre-positioned conduit and pull through.
3. Consider the orientation of the pole as determined by the first “adjustment for the pole” i.e. the best vertical alignment. Make sure that the shim washers needed to provide a vertical pole are in position, (if needed).
4. Using a lifting device or appropriate man power, raise the pole into position.
It may assist to engage the first 2 mounting plate holes over the first two mounting studs, as the pole is rotated into position.
5. Fit washers, spring washers and mounting nuts.

Process Complete

OPTIONAL TABERNACLE (highly recommended)

- A device has been designed to go between the ground mounting studs and pole mounting footings. This hinged tabernacle allows hinging of the pole up and down **without lifting machinery**.
- Cost effective, as lifting machinery (cherry picker – sizer lift and additional labour etc. is not required).
- One person is able to install and erect a solar pole with a tabernacle.
- The base assembly bolts directly to the 4 x ground mounted M16 studs.
- The top assembly bolts directly to the solar pole base plate. When hinged into the vertical position 4 extra mounting bolts join the top and bottom plates.
- The solar cables are completely encased within the tabernacle and cannot be accessed by vandals.
- In the final assembled position, a hasp through the top plate allows fitting of a padlock.
- Made of 12mm thick stainless steel this tabernacle is designed to withstand cyclone conditions.

FITTING TABERNACLE AT TIME OF POLE INSTALLATION

As part of the pole assembly procedure the tabernacle should be secured to the ground mounted studs before the cable is passed down the conduit.

Then the assembly is generally as explained.

FITTING TABERNACLE TO EXISTING INSTALLATION

Since the tabernacle mounts to the in-ground anchor pole (or directly to the ground), the tabernacle can be mounted on those same fastenings, between the ground and the pole base plate. This allows for retrofitting to any installation.

The only consideration is the electrical cable.

1. Preferably cable should be removed, the tabernacle mounted, with the cable re-run through its centre clearance hole.
2. The cable is re-terminated.

Alternatively, the cable can be cut and re-joined after installation of the tabernacle.

1. For a new installation, first open the tabernacle (hinges like a book) and secure the base assembly to the ground.
2. With the lid open and the pole horizontal attach the base plate mounting screws and securely fasten.
3. Align the panel to the north, or just very slightly west of north, by loosening the clamp screws on the solar head assembly and secure firmly.
4. Hinge the pole to the vertical position by lifting the solar panel and “walking” the pole to the upright position.
5. Holding the pole upright, secure the outside mounting bolts and fit the anti-theft padlock.
6. If the pole is not exactly vertical the pole can be lowered and washers fitted under one side of the pole baseplate.

Note: If the ground is not level sand cement can be used to bed down the tabernacle to the ground, or washers can be used.

TABERNACLE



APPENDIX 3 – COMMISSIONING

The design of the equipment allows for the commissioning to be carried out at Abberfield's factory and Card Access Service's administrative office.

This is because the mechanical, electrical and plumbing component parts are all pre-assembled and factory tested before delivery.

If these parts are site assembled as instructed all that remains is to slide in the controller parts and turn the Filling Station on.

Commissioning is primarily the setting up of the electronic controller's Filling Station identity for the credit card functionality, plus the account card usage, the banking system, plus the audit and critical alert capability. Only when this commissioning set up and testing is complete does Abberfield deliver or send the controller parts to site.

It is normal for Abberfield to deliver the controller and confirm that the installation has been correctly carried out, **BUT this is not a contractual obligation.**

The alternative is for Abberfield to forward the controller, the configuration module and if a solar operation also the battery / charger module. Then, the customer can slide these modules into place and turn on the power and water and the system can be functional. However, whenever possible Abberfield will visit the site, even at great distance, to all Eastern states. This is made possible by Abberfield having a mobile office workshop and delivery van, a converted Recreational Vehicle towing a large bogie delivery trailer "Go anywhere, anytime", in the interest of Abberfield's reputation supporting the companies valued customers.



This objective of a courtesy visit ought not to be abused by installers who only do part of their job, leaving it for Abberfield to complete the cabinet mounting and electrical connections of the plumbing solenoid and flow meter (both plug-in devices with the preinstalled and tested leads).

APPENDIX 4 – PACKING AND SHIPPING MATERIALS

The cabinets will come secured with internal bolts to a purpose-built pallet and to the top of the cabinet is bolted a stabilising bar. These and all other transport hardware are Abberfield's property, to be returned or collected during a follow-up visit to the customer.

APPENDIX 5 – POST INSTALLATION SUPPORT

Abberfield's one year warranty obligations are limited to customer's returning faulty equipment to Abberfield's premises for repair or replacement. Removal of much equipment is easily achieved by the component parts sliding into place as modules having no exposed electronic or delicate componentry.

In reality, Abberfield visit site and to date have made no charge for any support provided for equipment provided over the past five years. Continuance of the out of warranty support is possible because there is little equipment failure and is conditional on the continuance of the mutually respectful relations Abberfield enjoys with all Filling Station customers.

APPENDIX 6 – FILLING STATION MAINTENANCE CUSTOMER SUPPORT

Whilst Abberfield often attend sites to implement enhancements and may carry out some maintenance, customers should care for their Filling Stations with occasional support.

The Filling Stations may operate for decades, but for this the paintwork should be occasionally washed and wax or polished or the paint will fail before the rest of the equipment.

Insect infestation should be controlled by periodic application of surface spray and installing mothballs or camphor blocks inside the control cabinet.

APPENDIX 7 – ABBERFIELD SUPPORT

Alternative to customer support is engaging Abberfield to carry out that maintenance plus other maintenance and repair of any minor defeats.

With a fifty items checklist, if other repairs are needed the maintenance team can report to Abberfield for a service vehicle to follow.



ABBERFIELD TECHNOLOGY PROVIDING WHOLE OF LIFE SUPPORT

APPENDIX 8 – BATTERY MAINTENANCE

BATTERY TYPE

(As used in Abberfield Technology's Water Filling Stations)

The batteries used in Abberfield Technology's Water Filling Stations are quality Gel Cell or for the larger batteries may be glass fibre mat batteries.

Lithium batteries are not used because they incorporate internal electronics that disconnects their output when the battery voltage falls too low or when the battery gets hot. Since the Filling Station, positioned in the sun is hot most of the time, lithium batteries are not a practical solution.

BATTERY MODULE

Batteries can be mounted internally or external to the control cabinet.

If internal they will normally be in a metal housing that slides into position and self-engages the electronics via large gold-plated contacts.

Within the housing will be a battery charger and the charge voltage will be either from the mains derived low voltage (typically 15-17 volts) or from a solar panel.

If external to the control cabinet the battery charger will also be external and the incoming wires are connected to the "external regulated low voltage" terminals. This is normal for the larger Filling Stations (WD3000N) as larger batteries can be installed in the switchboard area, but for the WD2500 the standard internal battery module is considered sufficient. There are other options if required (refer Abberfield Technology).

BATTERY CHARGING

For solar charging the battery and the solar panel, battery and battery charger should be matched. Typically a solar panel on a pole has a 120 watt output rating, meaning that the battery charger should have a 10amp rating and the battery can be up to 100 amp hour's capacity.

Varying from this arrangement depends on site specific details, latitude, machine usage and operating time requirements (with no charging occurring). For demanding situations, up to 200 watts of solar input is sometimes required.

BATTERY EXCHANGE

A quality battery permanently connected into an operative Filling Station should have an operating life of approximately five years, subject to normal usage. Towards the batteries end of life its capacity is reduced and premature “low voltage shutdowns” may occur.

When changing a battery the terminals should be coated in Vaseline or battery terminal spray to prevent terminal corrosion.

BATTERY STORAGE

Batteries held in storage will slowly go flat and unless regularly charged the internal parts will become coated with a film that prevents current flow. This will progressively destroy even a new battery within 6 to 12 months of being left uncharged.

Therefore, batteries held in storage should either;-

1. Be permanently connected to a charge voltage.
2. Be charged every few months, typically 3 months, each 6 months starts to destroy batteries. How the battery is charged depends on the application, but in case of need a charging station can be supplied by Abberfield Technology.
3. Batteries should not be stored with a charger attached as the charger may load the battery, causing premature battery discharge.

TECHNICAL SUPPORT

More technical information is available from the Abberfield Technology Support Team
Telephone: +61 (0)2 9939 2844 or Email: contact@abberfield.com.au

In case of need unanswered telephone calls to the office will transfer to the Duty Engineer 24/7.

APPENDIX 9 – EXCHANGE OF A WATER FILLING STATION CONTROL MODULE

(Rarely needed as this is usually carried by Abberfield Technology, either on site or as a factory exchange).

The Filling Station Control Module comprises:

1. The Electronic Controller.
2. The Credit Card Reader.
3. The Credit Card Modem known as the “Amit” (includes the SIM card).
4. The System Control and Audit Modem (includes the SIM card).

The **site identity** is the serial number of the **Credit Card Modem** (Amit).

Note: The serial numbers of **each** modem should be printed on a label attached to the rear of the Control Module metal housing. Otherwise it is on a label on the rear of the Credit Card and the Audit Modem, but cannot be read without first removing the modems.

The SIM in the System Control Modem identifies the **customer** and may or may not identify the **site**. The serial number of the system controller is largely irrelevant.

The essential need when replacing a Control Module is to link the serial number of the Credit Card Module with the serial number registered for that site on the credit card processing server.

Therefore

When swapping out a Control Module, **either**;

1. Retain the Credit Card Modem (swap this from the original controller to the new controller).

or

2. Install the new Control Module with the new Credit Card Modem, **BUT**, advise Abberfield Technology of the new Credit Card Modem serial number and the site details, so that Abberfield Technology can arrange to have this new serial number registered on the credit card processing server.

Note: The SIM in the Credit Card Modem (Amit) serves no purpose except to pass forward the data and therefore, provided the Amit in the new Control Module has a SIM installed, this does not need to be swapped. However, if the new Amit SIM has not been activated for several months there may be a need to swap the Amit SIM's.

When swapping a Control Module also swap the SIM of the System Control Audit Modem.

PROCEDURE

1. Remove the Control Module from the cabinet (2 retaining screws and unscrew 2 x aeriels connections).
2. On the rear of the Control Module there are 2 screws, remove to slide off the outer cover.
3. On the front of the controller there are 4 countersunk screws to be removed with care.
4. Lay the front panel down on its face, taking care not to place strain on the display wiring and plug connections.
5. Access to the Control Modem is via 4 screws in the left side of the Control Module. Remove the power plug to the modem and to the switch (the attached black box), plus the lead from the switch to the controller switch end only, depress side clip and withdraw. Also remove the plug from the connection that goes to the side of the controller. Removing these leads is only to allow the modem to be lifted from its mounted position.
6. To lift the modem and switch assembly free of the loose fitting heat sink, just move it inwards and then upwards.
7. To the base there will be an aerial connection that can remain in place.
8. In the base will be the SIM card slot. Press the SIM, it will release and can then be replaced. Note this can only be fitted one way around.

TECHNICAL SUPPORT

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Telephone: +61 (0)2 9939 2844 or Email: contact@abberfield.com.au

In case of need unanswered telephone calls to the office will transfer to the Duty Engineer 24/7.

TRANSPORTATION – FILLING STATION DELIVERIES

Two parts; factory to customer, customer to site.

FACTORY TO CUSTOMER

Abberfield use own transport whenever possible, principally to ensure the Filling Stations' safe arrival, but also because Abberfield's staff are then available to assist customers with their installation enquiries.

Safe arrival comes from the Filling Stations being bolted directly to a purpose built pallet, in the same manner as bolting the Filling Station to the ground. The pallet is then secured to a low level trailer, for removal onsite by a forklift truck. To the top of the WD2500 will be a stabilising bar for transportation purposes.

Secured in this manner avoids use of hold-down straps and the Filling Stations arrive unmarked (wrapped in clear plastic film).

CUSTOMER TO SITE

Recommended is that customers use the same pallet means of transport but steadying of the Filling Station on the truck or trailer needs care. There will be corner holes on the palette that can be used to fore, aft and sideways hold the pallet. The stabilising bar can be used to prevent toppling in the event of rapid braking.

Using the stabilising bar ensures paintwork protection.

POST INSTALLATION

As standard practice, Abberfield staff visit each site to assist with delivery, installation and commissioning sign off. Whenever practicable, Abberfield can then collect the purpose built pallets and any transportation hardware for subsequent re-use, as this avoids the need to add packaging costs to the Filling Station purchase price.

ADVICE TO INSTALLERS

If in doubt ASK

Abberfield Technology offer 24/7 support - ring or email. If the office telephone is unanswered it will automatically transfer to the Duty Engineer's mobile.

Most installations are not carried out in accordance with Abberfield Technology's recommendations. Disappointing because Abberfield provide the best of quality materials and workmanship, intended for a long trouble-free operating life and this can be compromised by a sub-standard installation.

That is why Abberfield Technology tries to visit every site after installation to address installation deficiencies and then submit a commissioning report to the customer.

Abberfield's reputation is "on the line" by the quality of manufacture and post installation support. Only fair that the installer's reputation should be equally "on the line".

APPENDIX 10 – FEATURES AND SETTINGS

ACCOUNT CARD OPERATED

For full details, see current versions of Brochures:

Account, Access & Stored Value cards - brochure no.180418.

Water Filling Stations plus Data Processing & Banking Overview - brochure no.180323.

- Operation by Account or Credit Cards or both.
- Account and Credit Cards processed through a common card reader (avoids customer confusion).
- Account Card as a Drought Relief Card.
- Typically used by tanker drivers receiving monthly accounts.
- Settings allow individual users, groups of users, restrictions to specific Filling Station locations, account limits, volume limits and more.

CREDIT CARD OPERATED

- Any Visa or MasterCard credit or debit card; includes branded cards (Australia Post etc.) as these are Credit Card based.
- Pre-registered Credit Cards (rejects all others).
- Combined pre-registered and un-registered Credit Cards (allows differential pricing).

ACCESS TIME RESTRICTIONS

- Limits operations to nominated hours. *

VOLUME PER CARD PER DAY

- Allows restrictions to volume of Account Cards or Credit Cards. *

WATER PRICES

- Account cards typically are at one price, but can be different prices per card or per site.
- Water prices are set over the internet based portal.

FAULT REPORTING

- Critical reports emailed to Abberfield Technology and the back office provider (Card Access Services), plus other nominated parties.

REPORTING

- Back office reports of a transaction include water volume, card users and financial auditing.

Traceability of Credit Card activity is by recording four sequential card numbers, but otherwise no card details are recorded or even identified at any stage of a Credit Card process (triple DEZ encryption).

OPERATION

Any combination of mains, on-board solar, or remote solar, including mains with battery back-up.

If only on-board solar the panel size is too small for full time operation, so a machine can be set to operate in “sleep mode” (display says “device asleep. Press any button”).

Sleep Mode Settings (Over the portal).

1. Never asleep.
2. Sleep nominated hours.
3. Sleep on low battery voltage.
4. Sleep on nominated hours **or** low battery voltage.

Low voltage protected (display says “OUT OF ORDER - LOW VOLTAGE”).

Shut down voltage (and much more) set by the portal.

MAINTENANCE MENU

Key accessing Filling Stations allows use of a MENU button and scrolling via the UP and DOWN buttons.

Parameters include:

- Software version.
- Firmware version.

- Solar voltage.
- Battery 1 voltage.
- Battery 2 voltage
- Battery type (Gel cell or Lithium).
- Diagnostic details.
- Button test.
- Shut down (forces operating parameters to be recorded on the portal).

BY-PASS FUNCTION

The switch module includes a system power and a bypass switch. In By-pass the solenoid valve is activated without need for a card validation and this function exists even if the controller is removed.

On the larger Filling Stations the servo solenoid valve has a manual by-pass button (press in and twist). Manual bypass operates without consuming mains or battery voltage.

** Software currently under development.*

APPENDIX 11 – MAINTENANCE

Very little maintenance is required for the Water Filling Stations, but some is recommended and some is an insurance against adverse operating conditions.

Maintenance is at two levels:

Level One - To ensure reliable operating conditions.

Level Two - Ensures reliable equipment performance.

Level One is to prevent insect ingress, remove dust from operative parts and cleaning of the paint surfaces to prolong paint life. *Note:* the cabinet has a design life of 40 years, but the paint will fail first, unless protected.

Level Two includes oiling of the locking systems, cleaning electrical contacts, maintaining cabinet water seals, dismantling buttons for cleaning, plus a check list of system wide parameters and the resultant maintenance as required.

Experience is that without Abberfield Technology's assistance no maintenance will be carried out. The result will be long periods of trouble free operation, until an event, such as insect damage to the electronics, causes equipment failure, plus a reduced whole of equipment life. It has therefore been Abberfield Technology's practice to monitor the critical alert notifications via the Card Access Services portal and respond to service or maintenance issues when necessary, or when travelling past customer's Filling Stations.

MAINTENANCE CONTRACT

As the number of Filling Stations in service increase the economics of customer support via a maintenance contract becomes a viable option and Abberfield Technology now offer contractual maintenance. Recommended each year, or perhaps six monthly, Abberfield Technology will visit site to carry out level one and level two maintenance, for a negotiated fee. The fee structure is customer dependent, reflecting the number and type of Filling Stations, their location and other prevailing circumstances.

BREAK DOWN SUPPORT

Support is offered at three levels; telephone, factory, or field support. Note that the Filling Stations are designed so that the control electronics can be removed by unskilled labour for return to Abberfield's factory for repair if required and this permits distance support to all customers. Alternatively, Abberfield can travel to site in a mobile office and workshop, complete with comprehensive spare parts. A negotiated hourly rate may apply.

TELEPHONE SUPPORT

Unless support requirement becomes onerous telephone support is free of charge.

Telephone support is offered all day, every day, with an expectation that late night calls are for emergencies only. Should calls to Abberfield Technology's telephone number (02) 9939 2844 be unanswered, the call will automatically divert to the duty engineer.

Customers' enquiry can be supported at many levels. This is made possible by the interaction between Abberfield Technology, Card Access Services, Nayax credit card processing server and consultant engineering services. Central to this capability is the Back Office Portal, as this allows machine operating data to be accessed along with the audit and reporting data.

The first line support is the Critical Alerts, such that Abberfield Technology and Card Access Services are informed by email of potential issues that may initiate an automatic response for support by Abberfield Technology or Card Access Services.

With the Critical Alerts will be a Filling Station status report, including but not limited to fault conditions, mains supply, battery one and two voltage, and the cabinet temperature.

The second line support is by Abberfield requesting information from the Nayax support team, such as wireless signal strength and much more.

The third line support is back to Card Access Services and a request to interrogate the Tanker Management System records to analyses procedural data. Sometimes this establishes that a fault report is in fact a card issue, or expired card, or non-credit card users etc.

The fourth line support is to Abberfield's engineers and external contractual services, to review the diagnostic logs. This is an in-depth evaluation of a Filling Station's transactional activity that comes down the Card Access Services portal. If given the time of incident advice, to establish where in the logs to study the diagnostics, every machine activity can be retrospectively examined and a written report submitted.

Whilst this can be used to evaluate any machine issues, it more usually establishes customer error, such as;

- A customer did not press "Enter" and the Filling Station timed out.
- A customer pressed "Cancel" instead of "Enter".
- After a successful pre-authorisation the customer took too long to take water and the Filling Station timed out.

APPENDIX 12 – FAULT DIAGNOSIS

This document is to help customers resolve issues, whether operational or Filling Station related.

In addition, Abberfield maintain a no cost telephone support service 24/7, with the expectation that late night contact is for emergencies only.

Call the Abberfield main line (02) 9939 2844 at any time and if unanswered the call will divert to the duty engineer.

FAULT	POSSIBLE CAUSE	REMEDY
No Display	No power	Check lights on the Configuration module Mains, Solar, Battery 1, Battery 2
	Combined Power switch on Configuration Module turned off?	Turn switch on
	Switch on the Power Supply turned off?	Turn switch on
	Switch on side plate under power supply off?	Turn switch on
	Overload switch in switchboard tripped (can trip through mains spikes)	Reset switch
	Fuse in power supply blown	Remove power supply fuse (spare is in slide out cartridge on inlet socket)
	Power supply not secured	Engage retaining screws
	Controller not secured	Engage retaining screws
Display on but will not start up	Antennae not connected	Attach on left side of controller
	Telstra network failure. Display may say "WAITING FOR CARD READER"	Check and await reconnection
	Nayax server failure	Contact Abberfield
	Card Access Services server failure (rare, has duplicated backup server).	Contact Abberfield
Account card rejected	Antennae disconnected	Reconnect antennae
	Unpaid account	Contact water supplier
	Credit limit exceeded	Contact water supplier

	Customer SIM inactive (unpaid, cancelled etc.)	Contact customer's IT department
	SIM Card contact issue	Remove SIM, wipe contacts and reinsert. See Abberfield for details
	Faulty modem	Contact Abberfield
Credit Card rejection	Expired card	Contact provider
	Card validated, but Enter not pressed to confirm (system times out and returned to idle screen).	Repeat card validation and press ENTER
	Credit or debit card, not Visa or Mastercard (can accept rebranded Visa or Mastercards such as Australia Post debit cards)	Use Visa or Mastercard cards
	EFPOST or other non-credit card usage	Use correct card
	SIM Card contact issue	Remove SIM, wipe contacts and reinsert. See Abberfield for details
	Usage other than those parameters configured for that Filling Station	Use correct card
Card approved, but water does not flow	Water turned off	Contact supplier (test by operating by-pass switch and the solenoid valve should click). Alternatively press the manual by-pass lever.
	Solenoid failed (rare)	Replace valve
	Time out between card validation and taking water too long and the system self-cancelled.	Connect hose before validating card
Buttons do not respond as expected	Accumulation of dirt around the stainless steel plunger.	Wash the outside of the button with brush / methylated spirits. Then lubricate the stainless steel plunger with silicon spray, or graphite powder or light machine oil. Buttons can be removed for more thorough internal cleaning, one at a time , as the buttons also hold the inside circuit board

		in place.
	Ribbon cable plug not connected properly	Wriggle cable ends pushing plugs in (not out)
Water flows all of the time	By-pass switch turned on	Turn switch off
	Manual by-pass turned on (if fitted)	Turn by-pass off (twist anticlockwise)
	Foreign object caught under the water valve diaphragm seat	Remove the cap on the water valve and remove the foreign object
Water flows okay and manual meter on top of the flow meter reads, but customer display does not show the water dispensed	Flow meter pulse reader not connected to the flow meter	Connect flow sender on flow meter with 2 x screws
	Flow meter pulse sender not held firmly in place	Secure firmly
	On the WD3000N the transportation tag on the pulse reader not removed before installation	Remove tag
Water flows okay, but manual meter and customer display does not show any reading	On the WD3000N foreign object caught on the turbine impeller preventing it turning	Remove flow meter and take out foreign object
	On the WD3000N foreign object caught in the turbine impeller, but not large enough to stop it turning (gives inaccurate reading)	Remove flow meter and clean
Key sticking	Lock manufacturing swarf or dirt in tumblers of the lock	Place mouth over the lock fascia and blow hard. This will blow out most obstructions
		Spray silicon or oil or dry

		graphite lock lubricant down the lock barrel
Key difficult to withdraw	Lock rotational stop under the nut preventing the barrel turning to the "home" position	Sharply rotate key to the home position (clockwise), but not so hard that it may break the key – take care OR
		Loosen the lock nut just a fraction so that the location stop can rotate very slightly. Then, with the nut slightly loose, the lock rotational tabs must be securely in place
Key can be removed with door open but not with door closed	Cabinet distorted during installation	Contact Abberfield support team for advice on how to normalize the cabinet mounting



FOR YOUR INFORMATION



Queensland
Government

Inspector-General of
Emergency Management

06 June 2025

Mayor Barry Hughes
Mayor, Etheridge Shire Council
Chairperson, Etheridge Local Disaster Management Group
PO Box 12
GEORGETOWN QLD 4871

Email: mayor@etheridge.qld.gov.au
CC: ceo@etheridge.qld.gov.au; Mark.Watt@etheridge.qld.gov.au

Dear Mayor Hughes

Review into the 2025 disaster events

The Queensland Government is committed to delivering effective disaster management arrangements across the state. The disasters experienced by Queenslanders in recent months reinforce the critical importance of a well-functioning disaster management system.

As at 26 May 2025, the Minister for Police and Emergency Services, the Honourable Daniel Purdie MP, tasked the Office of the Inspector-General of Emergency Management (IGEM) to undertake reviews of the following disaster events:

- North Queensland Floods (late January to early February 2025)
- Tropical Cyclone Alfred's impact on South-East Queensland (late February to early March 2025)
- The Western Queensland Floods (late March to early April).

In undertaking these reviews, the Office of the IGEM will work closely with local, state, and federal agencies, impacted communities, and other relevant stakeholders to obtain information to assist in preparing a review report for each event. This includes entities that:

- were impacted by events where DRFA was activated
- provided critical infrastructure support for preparation and response
- engaged in preparation and response activities.

These reviews will highlight good practices and identify opportunities for enhancement to inform and ensure continuous improvement in Queensland disaster management arrangements.

The scope of the reviews is detailed in the attached terms of reference (ToR).

Timeframe for the 2025 reviews

The Office of the IGEM is required to provide the review reports by Tuesday 14 October 2025 to the Minister for Police and Emergency Services.

Invitation for submissions

The Office of the IGEM invites your agency to provide a written submission that addresses the scope of the ToR. We encourage you to provide any additional supporting materials that may inform the review process.

In addition to your submission in response to the ToR, we kindly request copies of any after action reviews or reports your agency has conducted relating to the three disaster events listed.

To ensure the Office of the IGEM is able to adhere to the strict review timeframes, we request that all submissions and accompanying materials, including after action reports are submitted via the review email by **Friday 7 July 2025**.

To assist, a submission template is enclosed for your reference.

If your agency is interested in scheduling a meeting to discuss the review, please register your interest via the review email by **Friday 20 June 2025**. Please note, the Office of the IGEM may reach out to arrange a meeting to better understand any issues, insights, learnings and opportunities for improvement related to the ToR.

It is requested that your agency appoints a key point of contact (KPOC), please provide their name, position and contact details to the review email at your earliest convenience.

All submissions, supporting materials, requests for meeting and provision of KPOC should be directed via the review email address: info.igemreview@igem.qld.gov.au.

Further information

For further information about the reviews, please visit our website – www.igem.qld.gov.au – or contact Ms Kylie Mercer, Director Legal, Monitoring and Evaluation and A/Director Disaster Management on 0439 115 851 or at Kylie.Mercer@igem.qld.gov.au.

We appreciate your cooperation and look forward to your valuable contribution to this review.

Yours sincerely



Alistair Dawson APM
Inspector-General of Emergency Management

Enclosures:

1. Terms of Reference
2. Submission template

Terms of Reference

Terms of Reference for the reviews of:

- **North Queensland Floods (late January to early February 2025).**
- **Tropical Cyclone Alfred's impact on South-East Queensland (late February to early March 2025).**
- **The Western Queensland Floods (late March to early April).**

Functions of the Office

The Office of the Inspector-General of Emergency Management (IGEM) is to provide the Queensland Government and the community with assurance of the State's disaster management arrangements. Section 16C of the *Disaster Management Act 2003* outlines the following functions for the office of the Inspector-General of Emergency Management, including:

- to regularly review and assess the effectiveness of disaster management by the State, including the State disaster management plan and its implementation;
- to regularly review and assess the effectiveness of disaster management by district groups and local groups, including district and local disaster management plans;
- to regularly review and assess cooperation between entities responsible for disaster management in the State, including whether the disaster management systems and procedures employed by those entities are compatible and consistent;
- to review, assess and report on performance by entities responsible for disaster management in the State against the disaster management standards;
- to identify opportunities for cooperative partnerships to improve disaster management outcomes;
- to report to, and advise, the Minister about issues relating to the functions above; and
- to make all necessary inquiries to fulfil the functions above.

Guiding principles and methodology

The Reviews will be guided by the following principles:

- The Standard for Disaster Management (the standard) establishes the outcomes to be achieved for all entities involved in disaster management. It consists of Shared Responsibilities, Outcomes, Accountabilities, and Indicators. The standard focuses on outcomes rather than setting a minimum standard that must be met.
- As described by the standard, the focus is on outcomes, the standard provides the parameters within which disaster management should be conducted across Queensland, without being prescriptive about how it should be done.
- The standard is to be used by all entities in Queensland with a responsibility to contribute to disaster management. This includes those with legislated roles, as well as entities acting on behalf of or under an arrangement with those that do.

- The term ‘entity’ is defined in the *Acts Interpretation Act 1954*, at Schedule 1 Meaning of commonly used words and expressions. It determines that an entity includes both a person and an unincorporated body. Consistent with the *Disaster Management Act 2003*, the standard uses the term entity to describe those with roles or responsibilities in disaster management in Queensland. This includes all tiers of government, non-government organisations, not-for-profit organisations, disaster management groups, and others with legislated roles in disaster management.

In conducting the Reviews, the Office will engage with:

- relevant entities impacted by these events where DRFA has been activated,
- any other entities providing critical infrastructure support in the preparation and response phase,
- relevant entities engaged in preparation and response activities,
- industry,
- community,
- relevant disaster management doctrine, and
- other relevant reviews previously conducted, or which may have commenced, relevant to this review.

The Reviews will be guided and informed by consideration of various sources of evidence, not limited to submissions (written or oral), interviews, official reports, data, case studies, public consultation and the views of experts.

Scope

For the associated events, the IGEM will deliver a separate report, for each identified event. The reports will identify enhancements and good practices to inform and ensure continuous improvement of Queensland’s Disaster Management Arrangements (QDMA).

In relation to the associated events, the reports will focus on the following:

- pre-season planning activities undertaken by entities,
- integration of preparedness and response activities between all levels of government,
- opportunities to enhance community resilience to better prepare for, and respond to future disasters,
- ensuring effective communications systems to enable the community to take necessary actions and to ensure connectedness within the community and with response entities,
- provision of information and data to inform and support planning decisions in the preparation and response phases, and
- any other matters that the IGEM considers necessary related to preparation and response.

Out of Scope

These reviews will not consider matters relating to:

- activities solely related to recovery,
- areas outside of the event areas previously identified,
- land use planning, and
- building design, codes and construction.

Deliverables and Timeframe

The review reports will include an analysis of the preparedness and response related to each event. Based on the evidence, the reports may include identified good practice as well as recommendations for improvements in the QDMA and opportunities for strengthening future preparedness and response mechanisms.

Before finalising the review reports, the IGEM will consult with relevant entities on draft findings and recommendations.

The three reports will be delivered to the Minister for Police and Emergency Services by Tuesday 14 October 2025 for consideration of tabling in Cabinet.

Our ref: Dam ID 2507



20 May 2025

Etheridge Shire Council
Attn: Mr Mark Watt
Chief Executive Officer
PO Box 12
GEORGETOWN QLD 4871

Department of
**Local Government,
Water and Volunteers**

Email: Mark.Watt@etheridge.qld.gov.au

Dear Mr Watt

Notice approving Charleston Dam emergency action plan

On 14 April 2025 Etheridge Shire Council submitted an emergency action plan (EAP) for Charleston Dam for approval by the chief executive of the department.

I advise the EAP has been approved pursuant to section 352I of the *Water Supply (Safety and Reliability) Act 2008* (the Act). Enclosed is a notice of the EAP approval issued under section 352K of the Act. The Charleston Dam EAP has been approved until 1 November 2025.

A 'Schedule of Matters' is enclosed for your information and it is requested these matters be addressed in the next EAP to be submitted for Charleston Dam.

Unless otherwise notified by the chief executive, Etheridge Shire Council is to prepare a new EAP for submission to the chief executive by 1 September 2025. Please ensure all required notices from the Local Government and the Chair of the District Disaster Management Group accompany the submission.

Etheridge Shire Council is required to have an approved EAP in place (under section 352S of the Act). Failure to submit the EAP on time can result in the issue of a Compliance Notice under section 465 of the Act and penalties applied if remedy of the contravention is not undertaken within the specific timeframe.

Section 352M of the Act requires the chief executive to keep a register of approved EAPs and to make information in the register available to the public on the department's website. The publicly available part of the register however must not include any individual's name, address and contact details.

1 William Street
Brisbane QLD 4000
GPO Box 2247, Brisbane
Queensland 4001 Australia
Telephone 13 QGOV (13 74 68)
Website www.rdmw.qld.gov.au
ABN 51 242 471 577

If you have any security or other concerns regarding the release of any other information contained in the approved EAP, please submit those concerns in writing to me within 10 business days from the date of this letter. The approved EAP will be published in a form that the delegate considers appropriate after taking into account any submission by you received within the time specified above.

A copy of this approved Charleston Dam EAP dated April 2025, version 3 will be uploaded onto the Queensland Police Disaster Management Portal.

In accordance with section 352P of the Act, as a referable dam owner you are required to review this EAP annually before 1 October and provide the chief executive with an Annual Safety Notice stating whether or not an amendment is required. If an amendment is required, then a copy of the amended EAP is to be provided with the notice. The Annual Safety Notice can be submitted electronically through the Dam Safety Regulator Portal or a paper copy is provided in Appendix L of the [EAP Guideline](#) and submitted via damsafety@rdmw.qld.gov.au.

If you require any further information, please contact Mark Banks, Principal Officer EAPs, Dam Safety, Department of Regional Development, Manufacturing and Water on 3199 4945 or damsafety@rdmw.qld.gov.au.

Yours sincerely



Bernadette McNevin
Acting Executive Director
Regulation and Operational Support
Delegate of the Chief Executive
pursuant to the *Water Supply (Safety and Reliability) Act 2008*

Encs: Section 352K Notice of approval of an emergency action plan
Schedule of Matters

Cc: Mark Watt (Mark.Watt@etheridge.qld.gov.au)
Raju Ranjit (Raju.Ranjit@etheridge.qld.gov.au)



Department of Local Government, Water and Volunteers

NOTICE

Water Supply (Safety and Reliability) Act 2008, Section 352K

Notice of approval of an emergency action plan

1. Citation

This notice may be cited as the notice approving the emergency action plan (EAP) for Charleston Dam located on Lot 14 on Plan SP323729 received from Etheridge Shire Council.

2. Power to give Notice

This notice is given under section 352K of the *Water Supply (Safety and Reliability) Act 2008* (Qld) (the Act).

3. Reference to Person

A reference to the person in this notice is a reference to the person specified in section 4 of the notice.

4. Person to whom this notice is given

This notice is given to:

Name: Chief Executive Officer (the person)
Address: Etheridge Shire Council
41 St George Street
Georgetown QLD 4871

5. Reason for Notice

Pursuant to section 352I of the Act, the chief executive of the Department of Local Government, Water and Volunteers (the chief executive) may decide to approve or refuse to approve an EAP submitted by a dam owner under Chapter 4, Part 1, Division 2A, Subdivision 3 of the Act.

Section 352K provides that the chief executive must give notice of the approval of any EAP to the owner of the dam.

6. Decision made

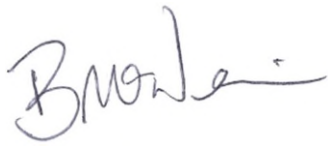
On 20 May 2025 pursuant to a delegation of authority by the chief executive, the delegate of the chief executive decided, under section 352I(1)(a) of the Act, to approve the EAP for Charleston Dam (Dam ID 2507) received by the department on 14 April 2025.

The approval period for the EAP is until 1 November 2025.

7. Renewing emergency action plan

Unless otherwise notified by the chief executive, you must ensure a new EAP for the dam is prepared and given to the chief executive by 1 September 2025.

This decision was made 20 May 2025.

A handwritten signature in blue ink, appearing to read 'Bernadette' followed by a stylized surname.

Bernadette McNevin
Acting Executive Director
Regulation and Operational Support
Delegate of the Chief Executive
pursuant to the *Water Supply (Safety and Reliability) Act 2008*

Schedule of matters to consider prior to submitting another EAP for Charleston Dam

Item	Matters which are considered would improve the EAP (Substantive change required)	Actions required by dam owner
1.	The recently completed FIA (2024) identified an increase in PAR from 61 to 87, however the PAR details have not been updated in the EAP. s.9.1 still contains a statement that 'results are not from an updated FIA based on the actual constructed levels. GHD are undertaking an assessment, and these results will be updated in due course' – this assessment was completed over a year ago (April 2024) and final results should be reflected in the updated EAP.	The EAP must be updated to reflect on the outcomes of the 2024 FIA: PAR count, addresses and contact details for the additional PAR properties (s. 4.4, s.9.5 and etc)
2.	All flood triggers are still based on the proposed design levels vs as constructed surveyed levels which are lower than initially designed, i.e . reduction of FSL from RL 387.9 to RL 387.65 m AHD (CRA report, s.3.2), DCL from 392.35 m AHD to 392.07 m AHD and etc.	Emergency triggers for flood events (Table 6.2) should be reviewed and updated to ensure consistency with as-constructed data.
3.	The inundation maps within the EAP include a combination of old and new maps: the PMP-DF map prepared in 2020 as part of the previous FIA whilst both SDF and 1:600,000 AEP no flood failure maps were prepared in 2024.	Please note the intermediate flood events are optional for inclusion in the EAP, however the PMF flood failure and no failure maps are mandatory and should be updated to reflect on the most recent FIA findings accepted by the DSR in 2024. Location of the disclaimer should be modified to ensure clear visibility of the impacted areas.
4.	Superseded information on peak flood levels has been retained in section 9 and does not reflect on the finding of the 2024 FIA and some of the updated flood maps included in the EAP.	Flood characteristics section should be either updated or removed. (<i>Please note travel time, time to inundation, or time to peak of inundation typically shown as contour lines are not mandatory EAP requirements</i>)
Item	Matters which are considered would improve the EAP (Non-substantive change required)	Actions required by dam owner
5.	EAP is not signed by Etheridge Shire Council (page 2).	Ensure future EAP revisions are final and signed by the appropriate ESC delegate before submitting for approval.
6.	Machinery of government changes: <ul style="list-style-type: none"> Update RDMW/Department of Regional Development, Manufacturing and Water to DLGWV/Department Local Government, Water and Volunteers e.g. page 12, section 3.2, last paragraph refers to DRDMW; figure 6-1; table 6-2 etc. 	Review and update throughout.
7.	Training The EAP should specify the training schedule in place to ensure personnel and backup role holders are trained in the	Review and update.

	<p>incident management process, including detection, evaluation, notification, and appropriate response actions.</p> <p>Section 3.5 specifies EAP exercise information, but does not detail internal training schedule e.g. EAP training for new employees, annual EAP refresher training for all EAP role holders.</p> <p><i>Refer to section 5.1 of the EAP Guideline v4 (2023)</i></p>	
8.	<p>Review wording of section 3.7 to ensure it is relevant to Etheridge Shire Council. Will ESC have a stall at “several show/field days across regional Queensland”?</p>	Review and update.
9.	<p>Table 6-4 states DES to “notify external stakeholders”. However, external notifications row does not list stakeholders to be notified.</p>	Review and update.
10.	<p>The EAP does not specify:</p> <ul style="list-style-type: none"> how relevant entities will be notified. <p>Per Section 352H(1)(b)(iv) of the Water Supply (Safety and Reliability) Act 2008 the EAP must for each dam hazard state “the order of priority in which the relevant entities are to be notified”.</p> <p>Relevant entities as defined in section 352A includes the LDMG, DDMG, local government, chief executive – RDMW, police etc.</p> <p><i>Refer to Section 352H(1)(b)(iv) of the Water Supply (Safety and Reliability) Act 2008</i></p>	<p>Review and update.</p> <p>Appendix G – add communication protocol e.g. contacts listed will be notified by phone with a follow up email.</p>
11.	<p>3 types of PAR have been identified on the inundation maps: incremental, potential and total which may cause confusion in an emergency as potential PAR normally is the population within the inundation area before assessment was completed and total PAR includes dam failure (incremental) PAR</p>	<p>a review of PAR terminology used in the EAP is recommended by removing ‘potential’ PAR and identifying ‘No failure PAR; and ‘dam failure PAR’ (incremental). (Please note: a sum of these two values should give total PAR).</p> <p>Table 4-1 should be also updates as it references total PAR as Failure PAR</p>
12.	<p>4.3 DATA table in the EAP contains superseded information and does not reflect on the surveyed as-constructed data (FSL, DCL and etc)</p>	Please review and update dam details in section 4 of the EAP.
13.	<p>There are some inconsistencies with the Full Supply Levels reported in the EAP, i.e. EL 387.3m in Section 4.3 vs EL 387.65m in Section 4.5 and Appendix E. Table 6-1 has in the Alert section: “Storage above EL 387.60 m AHD (0.3 m below spillway crest) ...”, and Storage CL is 387.9 in the tables. In the CRA 2024 the AS-Con spillway CL is noted as 387.6 m AHD (p21/291). Design</p>	Check and correct FSL information to ensure consistency.

	Spillway CL was 387.9 mAHD: this figure is quoted wrongly throughout the EAP.	
14.	Interchangeable use of RL and EL <ul style="list-style-type: none"> Page 22 – RL 387.6 m AHD EL used throughout document.	Check all height references and update these details to ensure consistency throughout the EAP
15.	Table 6-4 and Table 6.5-D, Actions LDMG - as there are no PAR associated with SDF event, why d/s properties have to prepare for evacuation or evacuate? <ul style="list-style-type: none"> See page 37 “Evacuate downstream properties (refer table 9.5)”. See page 45 “Evacuate downstream properties (refer table 9.5)”.	Review the need for evacuation during SDF events as there is no PAR associated with these hazards.
16.	Section 8.2.3, in the first sentence, states that the most recent FIA was March 2019. An FIA was submitted and accepted 11 July 2024.	Please ensure the most recent studies are referenced in official documentation.
17.	The last dot point in section 6.3.1 refers to, or alludes to, the potential movement or structural concrete damage at the pump station. The pump station is located on a pontoon, it is not clear why potential concrete damage is referenced in this section. Is there a potential for the pontoon to get damaged/separated from the flexipipe and impact on the integrity of the upstream embankment?	Please review and clarify this statement.
18.	Section 9, <i>Flood Characteristic and Flood Inundation Maps</i> , wrongly references the inundation maps as Appendix I instead of Appendix J.	Please ensure references (within the text to other sections of the document) are correct.
19.	Inconsistency/duplication of notifications <ul style="list-style-type: none"> Table 6-5-A states dam operator is responsible for notifying LDMG, DDMG, PAR, SDCC, Police, Dam Safety Engineer, Regulator, National Security. Table 6.5-B states DES is also responsible for notifying LDMG, DDMG, PAR, SDCC, Police, Dam Safety Engineer, Regulator, National Security. Table 6-5-C states the dam owner/CEO is also responsible for notifying LDMG, DDMG, PAR, SDCC, Police, Dam Safety Engineer, Regulator, National Security. Table 6-5-D states the dam safety engineer is also responsible for notifying LDMG, DDMG, PAR, SDCC, Police, Dam Safety Engineer, Regulator, National Security. Table 6-5-E states the LDMG is also responsible for notifying LDMG, DDMG, PAR, SDCC, Police, Dam Safety Engineer, Regulator, National Security.	Review and update.

20.	<p>SDCC Disaster Management Portal</p> <ul style="list-style-type: none"> • Emergency Alert messaging in prefilled request form is not uploaded. • Polygon uploaded to SDCC portal is not the same shape as the polygon provided on page 70 of the EAP. <p><i>Refer to EAP Guideline 2023 v.4 section 3.11</i></p>	<ul style="list-style-type: none"> • Upload pre-filled emergency alert request forms to the Disaster Management Portal and ensure messages are tested and approved. • Upload current polygon to Disaster Management Portal and ensure it is tested and approved. <p>The chief executive may refuse to approve an EAP where the EA polygons and preformatted messages have not been uploaded, tested and approved on the SDCC Disaster Management Portal – refer to <i>EAP Guideline 2023 v.4 section 7.4.</i></p>
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Our ref: CTS 09705/25
DGBN25/236



Mr Mark Watt
Chief Executive Officer
Etheridge Shire Council

Department of
**Local Government,
Water and Volunteers**

Email: mark.watt@etheridge.qld.gov.au

Dear Mr Watt

The Auditor-General recently tabled in Parliament her Report 13: *Local Government 2024* (the report). A copy of the report can be found on the Queensland Audit Office's (QAO) website at <https://www.qao.qld.gov.au/reports-resources/reports-parliament/local-government-2024>.

In the report, the Auditor-General has made the following three recommendations for councils:

1. Implement policies and procedures to ensure ex-gratia payments are appropriate, defensible, and the decision made to make such payments are transparent. The appropriateness of using non-disclosure agreements when making such payments should also be considered.
2. Assess climate risks and add them to their risk registers.
3. Review the asset consumption ratio for water infrastructure assets and determine what action is required.

The Department of Local Government, Water and Volunteers (the department) supports recommendation 1 and recommendation 3 for councils. I encourage all councils to prioritise the activities needed to implement the recommendations, including reviewing your council's policies, procedures and practices and identifying opportunities to improve systems and processes.

The department also notes recommendation 2 and will engage with the QAO to consider the ways that councils can be supported in assessing climate related risks. While there is no mandatory requirement for councils to report on climate related risks, councils may voluntarily assess climate risks and add them to their risk registers in line with best practice.

In addition to the above recommendations for councils, the Auditor-General highlighted several other matters for councils throughout the report. I encourage you to address the following if they apply directly to your council:

1 William Street
Brisbane QLD 4000
GPO Box 2247 Brisbane
Queensland 4001 Australia
Telephone 13 QGOV (13 74 68)
Website www.rdmw.qld.gov.au
ABN 51 242 471 577

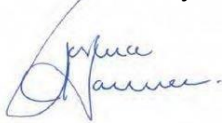
- attend to any outstanding prior year recommendations
- action any outstanding significant deficiencies that the QAO identified for your council
- the importance of planning for early certification for the end of financial year reporting to ensure the audit certification deadline of 31 October is met each year
- ensure council has an active internal audit function, and an effective audit committee where required.

The report also included an area of focus – accounting for depreciation – that explains what depreciation is, why accounting for depreciation is important, and how councils can effectively manage the impact of depreciation. This is a particularly relevant consideration given the recent discussions on this topic, and I encourage you to review the QAO's insights provided in the report.

I look forward to working with all councils in implementing the QAO's recommendations.

If you require any further information, please contact Ms Tara Nguyen, Acting Director, Financial Analysis, Assurance and Systems, Local Government Division in the department on (07) 3214 9564 or email via tara.nguyen@dsdilgp.qld.gov.au, who will be pleased to assist.

Yours sincerely



Joshua Hannan
Acting Director-General

cc Ms Renee Bester
Director of Corporate and Community Services
Etheridge Shire Council
renee.bester@etheridge.qld.gov.au



Author: Graeme Geisler
File number: 2022/001566
Directorate / Unit: Land Services
Phone: 4447 9150

Department of
**Natural Resources and
Mines,
Manufacturing and
Regional
and Rural Development**

21 May 2025

Etheridge Shire Council
PO Box 12
GEORGETOWN QLD 4871

Dear Sir,

**ISSUE OF FREEHOLD TITLE OVER AN AREA OF LAND EXCISED FROM GRAZING
HOMESTEAD PERPETUAL LEASE 18/135 - LAND DESCRIBED AS LOT 1 ON SURVEY PLAN
348502**

It is advised that freehold title has been issued over the above. The attached recording advice gives the details for your information. As is current standard practice, the Deed of Grant (Title Reference 40082178) was immediately cancelled and replaced with a Certificate of Title (Title Reference 51383227).

If you wish to discuss this matter, please contact Graeme Geisler on 4447 9150.

All future correspondence relative to this matter is to be referred to the contact Officer at the address below or by email to lst1enq@resources.qld.gov.au . Any hard copy correspondence received will be electronically scanned and filed. For this reason, it is recommended that any attached plans, sketches or maps be no larger than A3-sized.

Please quote reference number 2022/001566 in any future correspondence.

Yours sincerely

Graeme Geisler
Land Officer

Postal Address:
DNRMMRRD Hughenden
PO Box 937
CAIRNS QLD 4870

Telephone: 4447 9150
Email: lst1enq@resources.qld.gov.au



Office of
Industrial Relations

Department of State
Development and
Infrastructure

10 June 2025

Dear Chief Executive Officer,

As you may be aware, each year in accordance with the *Holidays Act 1983*, local governments are invited to request special holidays to be observed during the following year for districts in their area.

If you wish to request special holidays to be observed during 2026 for districts in your local government area, please complete the attached request form and submit via email to info@oir.qld.gov.au by no later than **Friday, 25 July 2025**.

A local council requested special holiday is a public holiday only if it is in respect of an agricultural, horticultural or industrial show. Under federal industrial relations legislation, employees are entitled to be absent from work or may refuse to work in reasonable circumstances on a public holiday, without loss of ordinary pay. Employees who work on a public holiday are entitled to penalty rates in accordance with their award or agreement.

A special holiday for any other reason is not a public holiday but a bank holiday. The *Trading (Allowable Hours) Act 1990*, provides that a bank holiday is only a holiday for banks and insurance offices. Under a directive of the *Public Sector Act 2022*, a special holiday is a holiday for public service employees unless otherwise determined by a chief executive.

Upon receiving Ministerial approval, the holidays will be published in the Queensland Government Gazette. Confirmation of the approved special holidays together with a link to the Queensland Government Gazette will be emailed to your office.

Should you require further information regarding this process, please contact Patricia Faulkner, Office of Industrial Relations on (07) 3406 9845 or email patricia.faulkner@oir.qld.gov.au.

I also wish to advise a review of the administrative processes for the appointment of special holidays is currently underway. The review will investigate options for a more streamlined process for future special holiday appointments.

Yours sincerely

Shane Donovan
A/Executive Director, Industrial Relations
Office of Industrial Relations

1 William Street Brisbane
Queensland 4000 Australia
GPO Box 69 Brisbane
Queensland 4001 Australia
Telephone 13 QGOV (13 74 68)
WorkSafe 1300 362 128
Website www.worksafe.qld.gov.au
www.business.qld.gov.au
ABN 94 496 188 983



SUGGESTION BOX

Mt Garnet to Forty Mile Scrub
on Kennedy Highway to
110 KPH

Have a suggestion? Let us know....



BUT READ FISHERS

PROPERTY AND THEY

IT UP // PUT IT INTO

A GREEN PARK FOR

HORSE TRAILERS WHEN

RODEO AND HORSE

SPORTS ARE ON

WE GET EVERYONE TO

HAVE A SEPTIC

FOR SEWERAGE //

HOW LONG ARE YOU

GOING TO IGNORE

THIS ISSUE.